DRC Submittal Monte Vista at Estates of Mount Rose

Submitted to Washoe County

June 26, 2015

Originial

Prepared for TL Mt. Rose Estates, LP

330 Douglas Blvd., Sye. 45 Roseville, CA 95611 Prepared by

Prepared by

DEVELOPING INNOVATIVE DESIGN SOLUTIONS
5440 Reno Corporate Drive Tel: 775.823.4068
Reno, NV 89511 Fax: 775.823.4066

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information	S	taff Assigned Case No.:				
Project Name: Monte Vista at Estates at Mour	nt Rose					
Project 23 Unit Single Fan Description:	nily Residential Subc	livision				
Project Address: North End of	Callahan Ranch Roa	d				
Project Area (acres or square fee	et): 58 acres					
Project Location (with point of re North end of Callahan Ranch R	-					
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:			
150-460-05	58.06					
Section(s)/Township/Range: No	orth 1/2 of Section 3	5, Township 18 North, Range 19	East			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). TM11-001						
Applicant Information (attach additional sheets if necessary)						
Property Owner:		Professional Consultant:				
Name: TL Mt. Rose Estates, L.	P.	Name: Wood Rodgers				
Address: 330 Douglas Blvd. Sto	e. 450	Address: 5440 Reno Corporate Drive				
Roseville, CA	Zip: 95661	Reno, NV	Zip: 89511			
Phone: 916-783-3420	Fax:	Phone: 775-823-4068	Fax: 775-823-4066			
Email: rbalestreri@timlewis.cor	n	Email: tgammill@woodrodgers.com				
Cell: 916-425-5657	Other:	Cell: 775-690-2050 Other:				
Contact Person: Rich Balestrer	i	Contact Person: Todd Gammill				
Applicant/Developer:		Other Persons to be Contacted:				
Name: Same as owner		Name:				
Address:		Address:				
	Zip:		Zip:			
Phone:	Fax:	Phone:	Fax:			
Email:		Email:				
Cell:	Other:	Cell:	Other:			
Contact Person:		Contact Person:				
	For Office	Use Only				
Date Received:	Initial:	Planning Area:				
County Commission District:		Master Plan Designation(s):				
CAB(s):		Regulatory Zoning(s):				

Director's Modification Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code Section 110.410.35 - Modification of Standards allows the Director of Planning and Development to modify parking standards due to the, "unusual nature" of the establishment proposed. Section 110.412.05(d) - Review of Extenuating Circumstances allows the Director of Planning and Development to conduct a special review of landscaping standards resulting from "extenuating circumstances or physical conditions" on the proposed project site.

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1.	What modification to the parking standards are you requesting? Be specific. For example, if this is a parking space modification, how many parking spaces are required and how many are you proposing. If this request is to use decomposed gravel (D.G.) in lieu of asphalt, what is the proposed depth of and compacting of the D.G.? What portion of the parking area will be D.G.?
	Not applicable.
2.	What modification to the landscaping standards are you requesting? Be specific. For example, is this a request to reduce the landscaping from 20% to 15%, or to utilize 50% inert materials at maturation?
	No modification requested.
3.	Why is the modification necessary to the success of the project? Be specific. Please address the "unusual nature" of the establishment proposed or the "extenuating circumstances or physical conditions" on the proposed project site.
	Not applicable.

4.	What exchanges are you proposing to mitigate the effect of the reduction in landscaping, parkin both? (For example planting a specific number of additional trees in exchange for a reductio required landscape coverage.)	
	Not applicable.	

NO FEES REQUIRED

PLANNING and DEVELOPMENT MASTER FEE SCHEDULE

101	DEPARTMENT FEES							
	Planni	ing		District Health	Department			
APPLICATIONS	PLANNING	Noticing	ENGINEERING	ENVIRON.	VECTOR	PARKS	WATER	TOTAL
ABANDONMENT								
Not Tahoe	\$1,111	\$200	\$195	\$71	\$155	-	\$26	7 7
Tahoe	\$1,111	\$200	\$195	\$71	\$155	-	-	\$1,732
ADMINISTRATIVE PERMIT								
Not Tahoe	\$1,265			\$71	\$155	-	\$38	4 - 1
Tahoe	\$1,265	\$200		\$71	\$155	-	-	\$1,756
AGRICULTURAL EXEMPTION LAND DIVISION (Note 5)	\$250		\$500	\$776	-	-	-	\$1,526
AMENDMENT OF CONDITIONS	\$700	\$200	\$390	-	-	-	-	\$1,290
APPEALS/INITATION OF REVOCATION								
No Map	\$803	\$200		-	-	-	-	\$1,003
With Map	\$803	\$200	\$390	-	-	-	-	\$1,393
Administrative/Code Enforcement Decision	-	-	-	-	-	-	-	\$0
BOUNDARY LINE ADJUSTMENT (Note 5)								
Not Tahoe	\$51	-	\$268	\$71	-	-	\$38	
Tahoe	\$51	-	\$268	\$71	-	-	-	\$390
CONSTRUCTION PLAN REVIEW	\$308	-	\$1,949	-	-	-	-	\$2,257
COOPERATIVE PLANNING	\$1,230	-	-	-	-	-	-	\$1,230
DETACHED ACCESSORY DWELLING ADMIN REVIEW								
Not Tahoe	\$1,000				\$118		\$203	
Tahoe	\$1,000	\$200	\$121	\$244	\$118	-	-	\$1,683
DEVELOPMENT AGREEMENT								
Less Than 5 Parcels	\$3,500			\$244	\$118		-	\$4,062
5 or More Parcels (Note 1)	\$5,000			\$244	\$118	-	-	\$5,562
DEVELOPMENT CODE AMENDMENT	\$2,242	\$200	\$1,299	-	-	-	-	\$3,741
DIRECTOR'S MODIFICATION OF PARKING/LANDSCAPING STANDARDS	\$338	-	-	-	-	-	-	\$338

	DEPARTMENT FEES							
3	Planni	ing		District Health	Department			
APPLICATIONS	PLANNING	Noticing	ENGINEERING	ENVIRON.	VECTOR	PARKS	WATER	TOTAL
DISPLAY VEHICLES	\$65	-	-	\$71				\$136
DIVISION OF LARGE PARCELS (Notes 2 & 5)	\$252	-	\$416	\$47	-	-	\$35	\$750
EXTENSION OF TIME REQUESTS								
Subdivision	\$340	-	-	-	-	-	-	\$340
Not Subdivision	\$546	-	-	-	1	-	-	\$546
FINAL MAP CERTIFICATE OF AMENDMENT	-	-	\$70	-	-	-	-	\$70
FINAL MAP AMENDMENT (NRS 278.480)								
With Sewer	\$520	-	\$429	\$374	\$193		-	\$1,516
No Sewer	\$520	-	\$429	\$1,016	\$193	-	-	\$2,158
FINAL SUBDIVISION MAP (Note 5)								
Not Tahoe	\$520	-	\$780	\$244	\$118		\$102	· /
Tahoe	\$520	-	\$780	\$244	\$118	-	-	\$1,662
With Hillside Ordinance - ADD	\$520	-	-	-	-	-	-	\$520
With a Significant Hydrologic Resource - ADD	\$520	-	-	-	-	-	-	\$520
With CC&Rs - ADD	\$520	-	-	-	-	-	-	\$520
MASTER PLAN AMENDMENT								
Not Tahoe	\$3,576	\$400		-	-	-	\$2,549	
Tahoe	\$3,576	\$400	\$54	-	-	-		\$4,030
NOTICING, ADDITIONAL OR RE-NOTICING AT APPLICANT'S								
REQUEST	\$52	-	-	-	-	-	-	\$52
RECORDING PARCEL, DLP, REVERSION TO ACREAGE,								
RECORD OF SURVEY	-	-	\$155	-	-	-	-	\$155
REGULATORY ZONE AMENDMENT								
Not Tahoe	\$2,481	\$200		\$244	-	-	\$2,549	\$5,528
Tahoe	\$2,481	\$200	\$54	\$244	-	-	-	\$2,979
REGULATORY ZONE AMEND WITH SPECIFIC PLAN	-	****	-	-	- 0110		- 04.074	- #C 000
Not Tahoe	\$3,449				\$118	\$65		
Tahoe	\$3,449	\$200	\$1,039	\$244	\$118	\$65		\$5,115
REINSPECTION FEE	-	-	-	-	-	-	-	\$50/hr.
RESEARCH/COPIES	-	-	-	-	-	-	-	Note 3

Plant	Noticing	\$65 - \$130 \$520 \$130	District Health ENVIRON. To Be Determine \$244 \$244 - \$244 \$244 \$244 \$244	VECTOR		\$26 \$203 \$203 \$203 	\$292 \$266 \$1,992 \$1,785 \$1,162 \$3,066
REVERSION TO ACREAGE (Note 5)	22 \$201 22 \$202 22 \$201 55 \$200 55 \$200 50 -	\$215 \$215 \$215 \$65 \$65 - \$130 \$520 \$130 \$520 \$520 \$520	ENVIRON. To Be Determine \$244 \$244 - \$244 \$244 \$244 \$244 \$244	VECTOR	- - - - - - - - -	\$203 \$203 \$203 \$203	\$292 \$266 \$1,992 \$1,783 \$1,162 \$3,066 \$3,456 \$2,857 \$3,24
Not Tahoe	2 \$20° 2 \$20° 2 \$20° 2 - 5 \$20° 5 \$20° 5 \$20° 5 \$20°	\$215 \$65 \$65 - \$130 \$130 \$520 \$130	\$244 \$244 - - \$244 \$244 \$244 \$244	\$118 \$118 - \$118 \$118 \$118 \$118		\$203 \$203 \$203 	\$1,992 \$1,783 \$1,762 \$3,066 \$3,456 \$2,857 \$3,247
Tahoe	2 \$20° 2 \$20° 2 \$20° 2 - 5 \$20° 5 \$20° 5 \$20° 5 \$20°	\$215 \$65 \$65 - \$130 \$130 \$520 \$130	\$244 \$244 - - \$244 \$244 \$244 \$244	\$118 \$118 - \$118 \$118 \$118 \$118		\$203 \$203 \$203 	\$1,992 \$1,783 \$1,762 \$3,066 \$3,456 \$2,857 \$3,247
SIGN PERMIT INSPECTION - (Permanent or Temporary) SPECIAL USE PERMIT Residential Not Tahoe	2 \$20; 22 \$20; 22 - 55 \$20; 55 \$20; 55 \$20; 55 \$20; 50 -	\$65 - - - - - - - - - - - - - - - - - - -	\$244 \$244 - - \$244 \$244 \$244 \$244	\$118 \$118 - \$118 \$118 \$118 \$118	- - - - -	\$203 \$203 - -	\$1,992 \$1,783 \$1,162 \$3,066 \$3,456 \$2,857 \$3,247
SPECIAL USE PERMIT Residential Not Tahoe \$1,16 Tahoe \$1,16 With Environmental Impact Statement \$1,16 Commercial, Industrial, Civic \$2,16 *Major \$2,16 *Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,24 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System	2 \$200 2 - 5 \$200 5 \$200 5 \$200 5 \$200 -	\$65 - \$130 \$520 \$130 \$520	\$244 \$244 - - \$244 \$244 \$244 \$244	\$118 \$118 - \$118 \$118 \$118 \$118	- - - - -	\$203 \$203 - -	\$1,789 \$1,162 \$3,060 \$3,450 \$2,857 \$3,247
Residential \$1,16 Not Tahoe \$1,16 Tahoe \$1,16 With Environmental Impact Statement \$1,16 Commercial, Industrial, Civic *84 *Major \$2,16 *Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,24 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System	2 \$200 2 - 5 \$200 5 \$200 5 \$200 5 \$200 -	\$65 - \$130 \$520 \$130 \$520	\$244 - \$244 \$244 \$244 \$244	\$118 - \$118 \$118 \$118 \$118 \$118	- - - - -	\$203 \$203 - -	\$1,789 \$1,162 \$3,060 \$3,450 \$2,857 \$3,247
Not Tahoe	2 \$200 2 - 5 \$200 5 \$200 5 \$200 5 \$200 -	\$65 - \$130 \$520 \$130 \$520	\$244 - \$244 \$244 \$244 \$244	\$118 - \$118 \$118 \$118 \$118 \$118	- - - - -	\$203 \$203 - -	\$1,789 \$1,162 \$3,060 \$3,450 \$2,857 \$3,247
Tahoe	2 \$200 2 - 5 \$200 5 \$200 5 \$200 5 \$200 -	\$65 - \$130 \$520 \$130 \$520	\$244 - \$244 \$244 \$244 \$244	\$118 - \$118 \$118 \$118 \$118 \$118	- - - - -	\$203 \$203 - -	\$1,789 \$1,162 \$3,060 \$3,450 \$2,857 \$3,247
With Environmental Impact Statement \$1,16 Commercial, Industrial, Civic **Minor *Major \$2,16 *Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,24 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System	2 - 5 \$20 5 \$20 5 \$20 5 \$20 6 \$20	\$130 \$520 \$130 \$520 \$130	\$244 \$244 \$244 \$244	\$118 \$118 \$118 \$118 \$118		\$203 \$203 - -	\$1,162 \$3,060 \$3,450 \$2,857 \$3,247
Commercial, Industrial, Civic	5 \$20 5 \$20 5 \$20 5 \$20 0 -	\$130 \$520 \$130 \$520 \$130	\$244 \$244 \$244 \$244	\$118 \$118 \$118 \$118	- - -	\$203 \$203 - -	\$3,060 \$3,450 \$2,85 \$3,24
*Minor \$2,16 *Major \$2,16 *Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,24 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System	5 \$20 5 \$20 5 \$20 0 -	\$520 \$130 \$520	\$244 \$244 \$244	\$118 \$118 \$118		\$203 - -	\$3,450 \$2,85 \$3,24
*Major \$2,16 *Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,22 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System	5 \$20 5 \$20 5 \$20 0 -	\$520 \$130 \$520	\$244 \$244 \$244	\$118 \$118 \$118		\$203 - -	\$3,450 \$2,85 \$3,24
*Tahoe Minor \$2,16 *Tahoe Major \$2,16 With Environmental Impact Statement \$2,24 *TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System \$80	5 \$20 5 \$20 0 -	\$130 \$520	\$244 \$244	\$118 \$118	-	-	\$2,85 \$3,24
*Tahoe Major \$2,16 With Environmental Impact Statement \$2,22 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System \$80	5 \$20 0 -	\$520	\$244	\$118	-	-	\$3,247
With Environmental Impact Statement \$2,24 TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System \$80	0 -			<u> </u>		-	
TENTATIVE PARCEL MAP/PARCEL MAP WAIVER (NOTE 5) No System \$80		-	-	-		-	
No System \$80	2 \$20						Ψ2,240
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1 System (Sewer) \$80			\$776			\$68	\$2,46
			\$331	\$269		\$153	
1 System (Water) \$80			\$776			\$153	
2 Systems \$80	3 \$20	\$345	\$331	\$269		\$203	\$2,15
Tahoe (Sewer) \$80	3 \$20	\$345	\$331	\$269	-	-	\$1,948
Sun Valley (No WC Utilities) \$80	3 \$20	\$345	\$331	\$269	-	\$51	\$1,999
TENTATIVE SUBDIVISION MAP (Notes 5 & 6)							
No System \$2,42	2 \$20	\$1,299	\$1,016	\$193	\$129	-	\$5,25
1 System (Sewer) \$2,42	2 \$20	\$1,299	\$374	\$193	\$129	\$2,039	\$6,65
1 System (No Sewer) \$2,42	2 \$20	\$1,299	\$1,016	\$193	\$129	\$1,019	\$6,27
2 Systems \$2,42	2 \$20	\$1,299	\$374	\$193	\$129	\$3,059	\$7,67
Tahoe (Sewer) \$2,42	2 \$20	\$1,299	\$374	\$193	\$129	-	\$4,61
With Hillside Ordinance - ADD \$2,42	2 -	-	-	-	-	-	\$2,42
With Significant Hydrologic Resource - ADD \$2,42	2 -	-	-	-	-	-	\$2,42
With Common Open Space - ADD \$2,42		-	-	-	-	-	\$2,42

	DEPARTMENT FEES							
	Planni	ng		District Health	Department			
APPLICATIONS	PLANNING	Noticing	ENGINEERING	ENVIRON.	VECTOR	PARKS	WATER	TOTAL
TRUCKEE MEADOWS REGIONAL PLANNING AGENCY								
NOTICING FEE				See Note 4				
VARIANCE - RESIDENTIAL/COMMERCIAL/INDUSTRIAL								
Not Tahoe	\$1,060	\$200	\$65	\$71	\$155	-	\$26	
Tahoe	\$1,060	\$200	\$65	\$71	\$155	-	-	\$1,551

NOTE 1: \$5,000 deposit on time and materials. Additional \$5,000 increments may be required.

NOTE 2: \$750 fee capped by NRS for Division of Land into Large Parcels only.

NOTE 3: \$50 per hour after first 1/2 hour for Planner, \$20 per hour after first 1/2 hour for Clerk, Public Records Research/Copying.

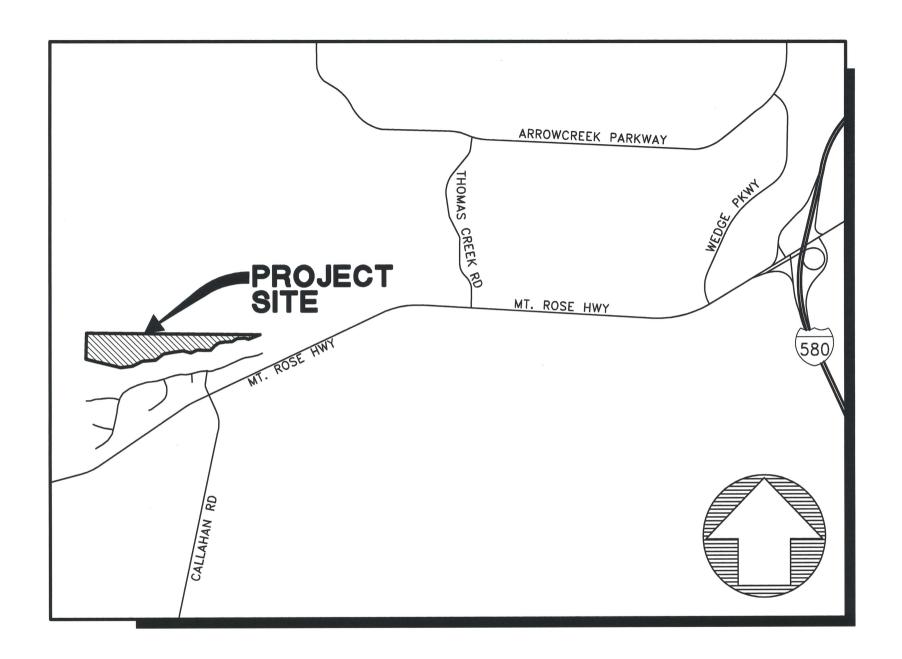
NOTE 4: Fee to be established by Truckee Meadows Regional Planning Agency.

NOTE 5: The Engineering Department will require a separate check for technical map fee. Please check with Engineering for the current fee amount.

NOTE 6: Separate checks are required for the Nevada Departments of Environmental Health and Water Resources. See Submittal Requirements.

In accordance with Nevada Revised Statutes, application fees must be deposited the day of receipt. This does not guarantee the application is complete.

*The following are major permit applications: bed and breakfast inns; commercial animal slaughtering; convention and meeting facilities; destination resorts; eating and drinking establishments; gasoline sales and service stations - convenience and full service; gaming facilities: limited and unlimited; hostels; hotels and motels; liquor sales on premises; lodging services; major public facilities; recycling centers: full service and remote collection and residential hazardous substances; vacation time shares. All other uses constitute minor permits.



VICINITY MAP

NOT TO SCALE

IMPROVEMENT PLANS FOR

MONTE VISTA AT THE ESTATES AT MT ROSE

WASHOE COUNTY

NEVADA

OWNER/DEVELOPER TL MT. ROSE ESTATES, L.P. 3300 DOUGLAS BLVD., STE. 450 ROSEVILLE, CA 95661 (916)783-2300

BASIS OF BEARINGS:

NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983/1984, HIGH ACCURACY REFERENCE NETWORK (NAD 83/94—HARN), AS DETERMINED USING FEAL TIME KINEMATIC (RTX) GPS 095E97ATIONS WITH CORRECTIONS TRANSMITTED BY WASHOE COUNTY CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "ZOLEZZI", ALL DIMENSIONS SHOWN ARE GROUND DISTANCES, COMBINED GRID-TO-GROUND FACTOR = 1.000197939.

BASIS OF ELEVATION:

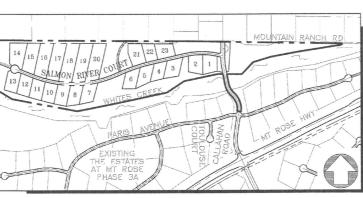
NORTH AMERICAN VERTICAL DATUM OF 1988 WITH THE COMMON CORNER TO SECTIONS 25, 26, 35 AND 36 TAKEN AS 3439.52 FEET ABOVE MEAN SEA LEVEL AS DETERMINED BY REAL TIME KINEMARIC (RTK) GPS DESERVATIONS WITH THE CORRECTIONS TRANSMITTED BY WASHDE COUNTY CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "ZOLEZZI" USING THE CONTINENTAL UNITED STATES GEOID MODEL OF 1999 (CONUS99).



SITE PLAN NOT TO SCALE

PROJECT SITE

VICINITY MAP NOT TO SCALE



DESIGN ENGINEER:



ENGINEERS STATEMENT:

THESE PLANS, SHEETS T-1 THROUGH EC-1, HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND DUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUES, COUNTY ORDINANCES, STANDARDS, TENTATIVE MAP CONDITIONS, AND CITY COUNCIL CONDITIONS, IN THE EVENT OF A CONFLICT BETWEEN AMY PORTION OF THESE PLANS AND WASHOE COUNTY STANDARDS, THE STANDARDS SHALL APPLY.

SHEET INDEX

	SHEET INDEX					
SHT No.	DWG ID	DRAWING DESCRIPTION				
1	T-1	TITLE SHEET				
2	N-1	GENERAL NOTES AND SPECIFICATIONS				
3	N-2	GENERAL NOTES AND SPECIFICATIONS				
4	1/5	FINAL MAP				
5	2/5	FINAL MAP				
6	3/5	FINAL MAP				
7	4/5	FINAL MAP				
8	5/5	FINAL MAP				
9	U-1	UTILITY, SIGNAGE & STRIPING PLAN				
10	U−2	UTILITY, SIGNAGE & STRIPING PLAN				
11	U-3	UTILITY, SIGNAGE & STRIPING PLAN				
12	G-1	GRADING PLAN				
13	G-2	GRADING PLAN				
14	G-3	GRADING PLAN				
15	G-4	GRADING PLAN				
16	P-1	PLAN AND PROFILE				
17	P-2	PLAN AND PROFILE				
18	P-3	PLAN AND PROFILE				
19	P-4	PLAN AND PROFILE				
20	P-5	PLAN AND PROFILE				
21	P-6	PLAN AND PROFILE				
22	P-7	PLAN AND PROFILE				
23	D-1	DETAIL SHEET				
24	D-2	DETAIL SHEET				
25	D-3	DETAIL SHEET				
26	D-4	DETAIL SHEET				
27	D-5	DETAIL SHEET				
28	EC-1	EROSION CONTROL PLAN				
29	B-1	BORING LOGS				
30	L-1	LANDSCAPE PLAN				
31	L-2	LANDSCAPE PLAN				
32	L-3	LANDSCAPE PLAN				
33	L-4	LANDSCAPE PLAN				
34	L-5	LANDSCAPE PLAN				
35	L-6	LANDSCAPE PLAN				
36	L-7	LANDSCAPE PLAN				

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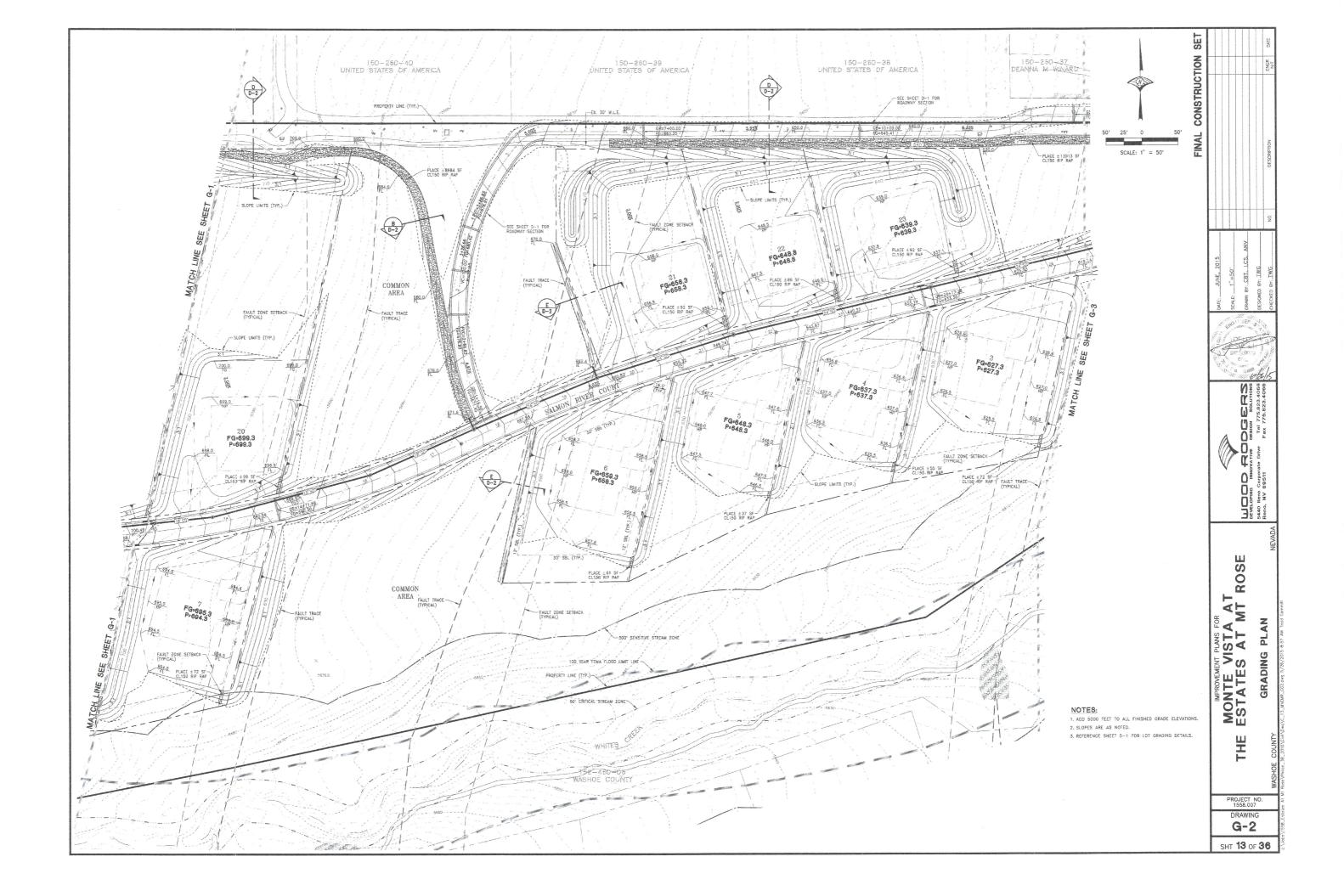
PROJECT NO. 1558.007 DRAWING

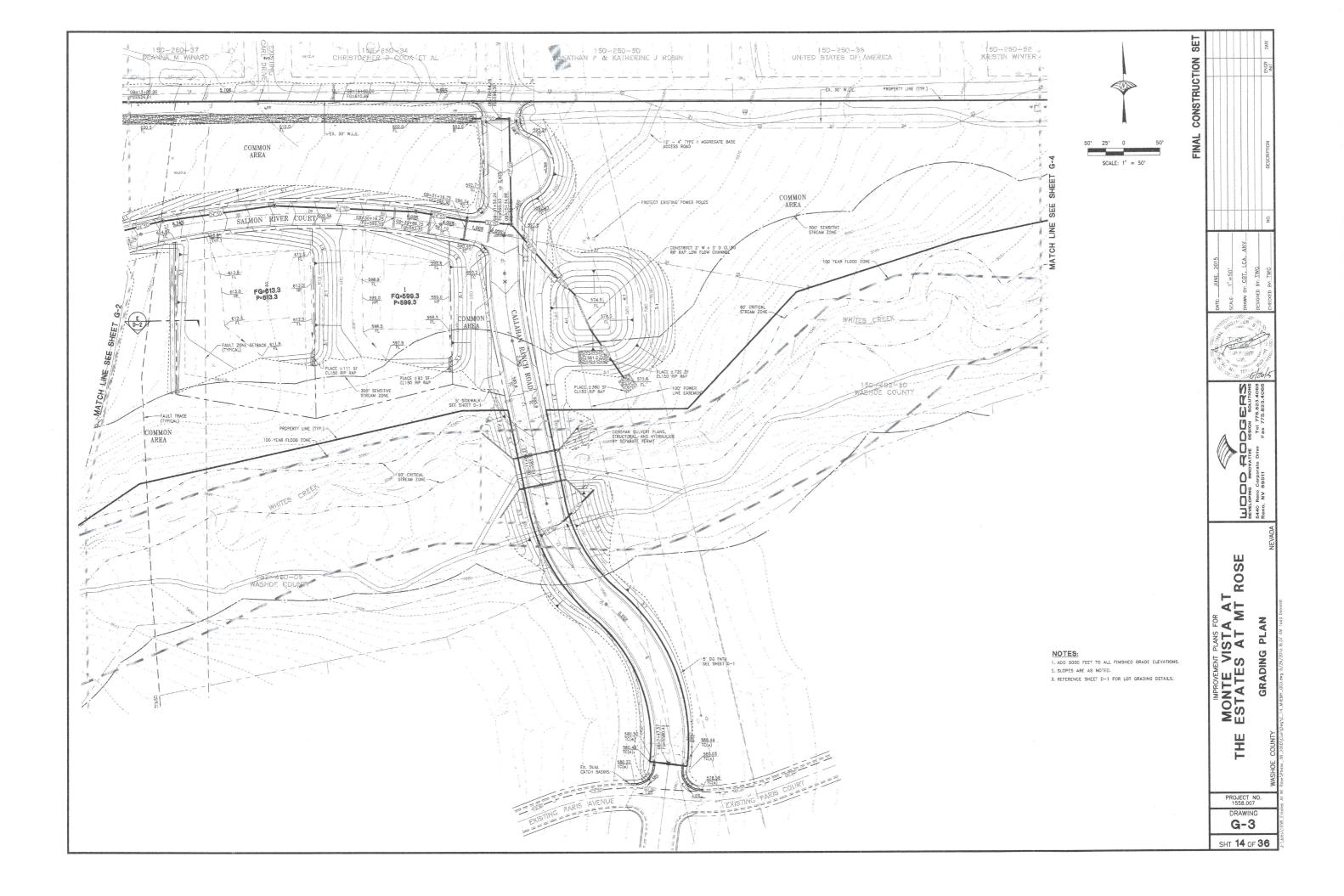
T-1 SHT 1 OF 36

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT B LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD TL MT. ROSE FSTATES, L.P. AND THE DESIGN CONSULTANT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PLETERMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF TL MT. ROSE ESTATES, L.P. OR THE DESIGN CONSULTANT.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT FREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.







Monte Vista at the Estates at Mount Rose

LANDSCAPE SPECIFICATIONS

2. A MINIMM OF TWO WORKING DAY'S BEFORE PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING FROM HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

3. DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER

4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E., PAVING, PLUMBING, ELECTRICAL, ETC.)

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST WHICH PREVENT CONSTRUCTION AS PER THESE PLANS COMMERCEMENT OF MORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY FOR CORRECTIONS.

A. CONTRACTOR, ARREST THAT, IN ACCORDANCE HITH STRENGLLY ACCORDED CONSTRUCTION PRACTICES, CONTRACTOR, ASSAMES SOLD AND COMPETED REPONSIBILITY FOR EXPOSED SITE CONTRACTOR DEFINITION THE CORRECT OF CONSTRUCTION OF THE FRO

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HAVES OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT. THE TOP IS OF ALL PLANTING BEDS SHALL BE CLEAN NATIVE SOIL, FREE OF ALL CANDRICKION DEBENS AND NATIVE ROCKS OVER NO DIAMETER THE CONTRACTOR SHALL AVEIN THE PLANTING HOLES PER PLANS AND SECURICATIONS. FINAL GRADE OF ALL FINITERS (I.E. MUCCH SURFACE) SHALL BET DISH WITH ADJACAPE SURFACES.

SOIL_TEST: CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS FOR EXISTING SITE SOIL AS FOLLOWS:
 ANALYSIS PACKAGE LIF4 BY SINLAND ANALYTICAL (16)692-265T (CAE).
 TEST RESULTS SHALL INCLIDE SOIL SATURATION PROFERTS SOIL TEXTURE. INFILITRATION RATE, PH. CONDUCTIVITY,
 TOTAL DISSOLVED SALTS, CATION EXCHANSE CAPACITY, POTAGSIM, SODIUM, CALCIUM, MASKESIM, NITRATE 4
 PHOSPHORIS, SULIRE, CHORDIE, BORON, COPPER, ROY, MANGAMESE ZINK 4 LIME REGUIREMENT OF SYSIM
 REGUIREMENT, SODIUM ABSORPTION RATIO, EXCHANGEABLE SODIUM SERCENT & ORGANIC MATTER, ALONS WITH
 RECOMMENDATIONS FOR SOIL AMERINANT BASED ON ANALYSIS RESULTS.
 CONTRACTOR SHALL FOLLOW RECOMMENDATIONS OF SOIL TEST.

9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TOTAL AND CONFIRM ALL MATERIAL QUANTITIES. ITEMS QUANTITHED BY AN AREA (I.E., SQUARE FEET - SF, SQUARE YARD - 6 Y) OR VOLUME (QUBIC FEET - CU FT, CUBIC YARD - CU YD) SHALL BE CALCULATED AND CONFIRMODE BY THE CONTRACTOR. THE QUANTITIES LISTED ON THE PLANT LIST ARE SETIMATED. IN THE EYENT OF A DISCREPANCY BETWEEN THE TOTALS LISTED ON THE PLANT LIST AND THE QUANTITY OF GRAPHIC FLANT SYMBOLS DEPICTED ON THE DRAWINGS, THE SCHAPL SYMBOLS ON THE PLANS SHALL SOVERN. THE ACTUAL TOTAL QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR.

I. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON PLAN. SYMBOLS PREVAIL OVER NAMBERS ON PLANT LIST. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT EXPRESSED WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. SEE SUBMITIALS.

2. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF THE ANSIZED. "AMERICAN STANDARD FOR NIRGERY STOCK!" BY THE AMERICAN ASSOCIATION OF NIRGERYMEN SHALL BE RELECTED. CONTRACTOR SHALL RECEIVED CONSTRUCTOR SHALL RECEIVED AND THE AMERICAN DE YOURSES RESERVED AT THE PRIOR TO PLANTING. FAILURE TO RECEIVE PRIOR APPROVAL MAY RESULT IN REJECTION OF PLANT MATERIAL FOLLOWING INSTALLATION. THE OWNERS REPRESENTATIVE RESERVED THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.

13. ALL PLANTING BEDS SHALL BE TOP-DRESSED AS FOLLOWS:

NATIVE SOIL - HAND RAKED AND SEEDED WITH REVEGETATION SEED BLEND TO CREATE A SMOOTH UNIFORM APPEARENCE.

OBSERVATIONS/APPROVALS/SUBMITTALS

14. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE, A MINIMUM OF 46 HOURS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:

- A. PRECONSTRUCTION MEETING WITH ALL PARTIES
 B. PLANT MATERIAL ON SITE, PRIOR TO INSTALLATION
 C. FINAL PROJECT WALK-THROUGH
 D. ADDITIONAL SITE 095ERVATIONS AS DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE AND/OR CONTRACTOR.

15. SUBMIT AMENDMENT AND MULCH SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY MAY RESULT IN REJECTION OF MULCH OR AMENDMENT PRIOR TO OR FOLLOWING INSTALLATION.

A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE PROJECT OWNERS REPRESENTATIVE WITHIN TWO MERCS OF THE AWARD OF CONTRACT, SUBSTITUTION MIST METER EQUIVALENT DESIGN AND PRICTIONAL SOLLS OF THE REPRESENTATIVE, ANY CHARGES MIST HAVE THE APPROVAL OF THE OWNERS REPRESENTATIVE ANY CHARGES MIST HAVE THE APPROVAL OF THE OWNERS REPRESENTATIVE ANY CHARGES MIST HAVE THE APPROVAL OF THE OWNERS REPRESENTATIVE OF THE APPROVAL OF THE OWNERS ANY CHARGES MIST HAVE THE APPROVAL OF THE OWNERS AND PROPERTY OF THE APPROVAL OF THE OWNERS AND PROPERTY OF THE APPROVAL OF THE OWNERS AND THE OWNERS AND

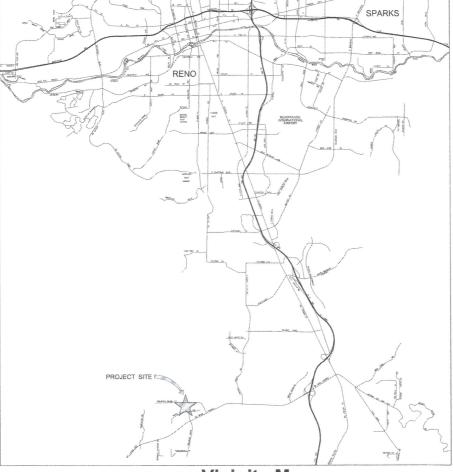
IT. SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED SOIL AMENDMENTS TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

IS RECORD (AS-BILLT) DRANINGS. FOLLOWING COMPLETION OF PROJECT INSTALLATION, AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL PREPARE AND SIGHT RECORD DRAWINGS DEPICTING A COMPLETE LANDSCAFE AND IRREGATION INSTALLATION. PROCESSE FROM ONES DIGITAL OFFICES OF CONTRACTOR SHALL MAKE A DAILY RECORD OF ANALYSIS.

RELIGIOUS PROJECT OF THE CONTRACTOR SHALL DRAWINGS. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK, INSTALLED DRINGS EACH DAY. ACTUAL LOCATION OF TREES AND SHALLS BEDD, RENGATION LAYES, AND ALL REGIONAL AND DRAWINGS PIPMS SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EAGLY IDENTIFIED FERNAMENT FEATURES, SIZE OF PROJECTED THESE, DRAWINGS SHALLS FOR MAKE A TRANSFERRED TO THE COPIES MAKE AND SHALL BE TO SCALE ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY WAY. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE.

GUARANTEES/WARRANTY

2.0. ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING WRITTEN ACCEPTANCE BY OWNERS REPRESENTATIVE. LANDSCAPE CONTRACTOR VILL GUARANTEE ALL PLANT MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRINGS, GROUNDCOVER, AND GRASSES) FOR A PERIOD OF ONE FULL YEAR FOLLOWING FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION BY THE OWNERS AUTHORIZED REPRESENTATIVE. IN BIDDING AND INSTALLING THE FLANT MATERIAL SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR AGREES TO HAVE A PROPRIED TO THE STATE OF THE FLANT MATERIAL SPECIFIED IS SUITABLE TO THE PROJECT SITE. FURTHERWORE, THE LANDSCAPE CONTRACTOR AGREES TO HONOR THE AMERICANT DUE TO EXCESSIVE DIE OUT. IF THE LANDSCAPE CONTRACTOR DOES NOT BELIEVE CERTAIN PLANT MATERIAL IS SUITABLE FOR THE SITE AND/OR THE MORPO-CHARTES, THE LANDSCAPE CONTRACTOR SHALL REQUEST TO THE PLANT MATERIAL IS SUITABLE FOR THE SITE AND/OR THE MORPO-CHARTES. THE LANDSCAPE CONTRACTOR SHALL REQUEST TO THE PLANT MATERIAL SUITABLE SUITABLE FOR THE STAT MATERIAL SUITABLE SUITABLE FOR THE STAT MATERIAL SUITABLE FOR THE STAT OF INSTALLATION. PROPRIED



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SHEET INDEX:

- COVER SHEET & SPECIFICATIONS LANDSCAPE PLANTING PLAN
- LANDSCAPE PLANTING PLAN
- LANDSCAPE PLANTING PLAN
- IRRIGATION PLAN
- TYPICAL FRONTYARD LANDSCAPE

LANDSCAPE & IRRIGATION DETAILS

LANDSCAPE DATA:

SITE AREA: 83.38 ACRES ZONING: HIGH DENSITY RURAL (HDR) REQUIRED LANDSCAPE AREA: NA PROVIDED LANDSCAPE AREA: NA TREES PROVIDED: 181 SHRUBS PROVIDED: 420 +/

IRRIGATION SPECIFICATIONS

I. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-COMPACTION SHALL BE AS INDICATED ON THE FLAN.

2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.

THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICITED ON THESE PLANS.

4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE IMPEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED MAY PROCEED MAY REVISION INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNERS.

5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWNINGS PHEN IT IS OBVIOUS IN THE FIELD THAT LINKNOWN DESTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT MAYE BEEN UNKNOWN DERING SHALL SE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS OUTFILE OF THIS OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS OUTFILE OFFICE OWNERS, OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS OUTFILE OFFICE OWNERS. THE OWNERS AND THE OWNER OFFI OWNERS.

6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

8. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.

9. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.

10. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRRESULARITIES.

II. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT AT I-800-227-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CASLES, TELEPHONE

12. CONTRACTOR ASREES THAT, IN ACCORDANCE WITH SENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.

13. INSTALL ALL PIPE AND CONTROL WIRES IN LANDSGAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.

14. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVINS, WITHIN SCH. 40 PVC SLEEVES 4" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDINS. PROVIDE (I) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.

IS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAINLINES BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LOW POINTS.

FLUSHING AND TESTING

16. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.

IT. AFTER FLUSHINS, AND WIEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS FER SQUARE INCH (100 FS) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEAND, REVADE, AND TESTED.

18. AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THE TEST SHALL BE MADE AT MAXIMUM OPERATINS PRESSURE FOR A PERIOD OF NOT LESS THAN (I) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACAFILLING OVER PIPING.

20. AFTER COMPLETION OF GRADING AND SOD PLACEMENT, CAREFULLY ADJUST SPRINKLER HEADS TO MEET HEIGHT INDICATED ON DRAWINGS.

21. MATERIALS LIST: NITHIN (IS) DAYS AFTER AVARD OF CONTRACT, SUBMIT TO OWNERS REPRESENTATIVE (S) COPIES
OFFICE COMMETTE MATERIAL LIST (PARTIAL LIST FOR THE ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT,
AS ALLONING A SUBSTITUTION FOR ANY TEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INVESTIGATED
AS ALLONING A SUBSTITUTION FOR ANY TEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INVALIDED OR
FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE MAY BE RELECTED AND THE
CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.

INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTORS RESPONSIBILITY. ANY CHANGES REGULATED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION WIST BE MADE TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNERS.

22. PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN WRITING, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.

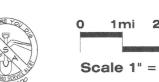
23, COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.

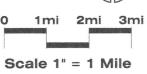
24. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.

CHART INDICATING LOCATION, DIPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.

5. ASSULT IRRIGATION DRAWINGS. CONTRACTOR SHALL FURNISH ASSULTS OF THE COMPLETE IRRIGATION SYSTEM, PROCURE PROM OWNERS REPRESENTATIVE DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE RIRRIGATION SYSTEM IS BEINS INSTALLED, CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL MORN INSTALLED DURING EACH DAY. ACTUAL LOCATION OF YALVES AND ALL PROPERTY OF THE CONTRACTOR SHALL BE RECORDED AND ALL SHOWN IN THE PROPERTY LINES. PROVINCES THAT ALL PROPERTY LINES, DRAWINGS SHALL SHOWN IN THE PROPERTY LINES. PROVINCES SHALL SHOWN IN THE PROPERTY LINES, DRAWINGS SHALL SHOWN IN THE PROPERTY LINES. PROVINCES SHALL SHOWN IN THE PROPERTY LINES. THE DRAWINGS SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES. THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHOWN IN THE PROPERTY LINES SHALL SHOWN IN THE PROPERTY LINES SHOWN IN THE PROPERTY LINES

26. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL DULY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIBBLE FOR REPAIRS/REPLACE/PMINT OF FAILED WATERIAL/MORN/ANSHIP.





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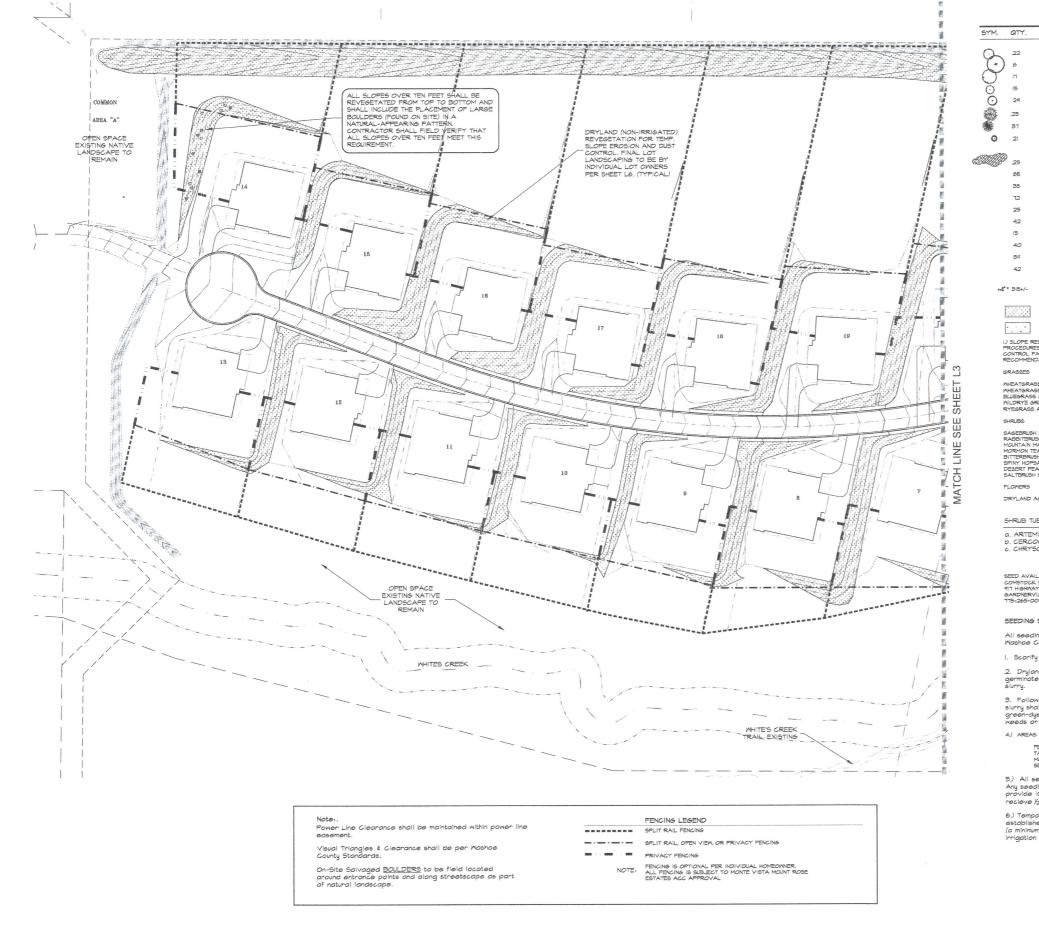
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CAD File: LI-022-546-C Date: 6/25/15

> Sheet L1

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COMMON AREAS PLANT LEGEND

SYM.	QTY.	BOTANICAL NAME/COMMON NAME	MIN. SIZE	SPACING
		TREES		
0	.22	Acer ginnala/Amur Maple Multi Stem 3 1	Main Stems Min. 6'	Ht.
(+)	8	Acer platanoides 'Crimson King'/C.K. Maple	2" Cal.	
0	17	Celtis occidentalis/Common Hackberry	2" Cal.	
Õ	15	Malus Indian Summeri/Indian Summer Crabapple	I" Cal.	
0	29	Populus tremulaides/Quaking Aspen	1" Cal.	
	.25	Pinus jefferyl/Jeffrey Pine	8' Ht.	
	37	Pinus Nigna/Austrian Pine	8" Ht.	
0	21	Juniperus ecopulorum/Rocky Mnt. Juniper	6' Ht	
		SHRUBS Field Locate - Plant in groupings consist the earlier phases of Mount Rose Esta	stent with	
	25	Acer ginnala 'Flame'/Flame Amur Maple	5 Gal.	В'
	85	Amelanchier ainifolia/Serviceberry	5 Gal.	5'
	35	Cercocarpus ledifolius/Mountain Mahagany	5 601.	6
	72	Comus stoionifera 'istantii'/Redtwig Dogwood	5 Gal.	4
	25	Cotoneaster dammeri 'Coral Beauty'/C.B. Cotonea	ster 5 Gal.	5
	42	Ribes odoratum 'Crandall'/Clove Sented Currant	5 Gal.	5
	15	Perovskia atripilcifolia/Russian Sage	5 Gal.	4
	40	Prunus andersonii/Desert Peach	5 Gal.	6'
	39	Rhus trilobata/Ookbrush Sumac	5 Gal.	6'
	42	Shepherdia organtia/5/lver Buffaloberry	5 Gal.	6'
***	* 3 5+/-	GRASGES - Calmagrostis x acutifiara/Feather Reed Grass Panicum virgatum/Cheyenne Skyl/Switch Grass	I Gal, Size	

DRYLAND NON-IRRIGATED REVEGETATION

TEMPORARY IRRIGATED REVEGETATION

I.) SLOPE RESTORATION AS DEPICTED ON THESE PLANS REFLECTS SEEDING PROCEDURES ONLY. CONTRACTOR SHALL PROVIDE JIF MATTING OR OTHER EROSION CONTROL FASHIC IF REQUIRED PER THE PROJECT SECTECHNICAL ENGINEER'S

GRASSES	PLS/LBS PER ACRE
MHEATGRASS CRESTED/BLUEBUNCH WHEATGRASS	8 4.0
MHEATGRASS SLENDER (NURSE CROP)	4.0
BLUEGRASS CANBY/SANDBERS	4.0
MILDRYE GREAT BASIN MAGNARMATIVE	2.0
RYEGRASS ANNUAL (NURSE CROP)	8.0
SHRUBS	
SASEBRUSH WYOMING	05
RADBITBRUSH	05
MOUNTAIN MAHOGANY	20

95 TOTAL PL9/82.0 LBS PER ACRE DRYLAND AGGRESSIVE BLEND

SHRUB TUBELINGS TUBELINGS/ACRE a. ARTEMISIA TRIDENTATA /MOUNTAIN SAGEBRUSH.75/ACRE b. CERCOCARPUS MONTANUS/MOUNTAIN MAHOGANY c. CHRYSOTHAMNUS NAUSEOSUS/RABBIT BRUSH...... 75/ACRE

325 TUBELINGS/ACRE

SEED AVAILABLE FROM: COMSTOCK SEED (OR APPROVED ALTERNATE SOURCE) 911 HIGHIAY 26 SARDNERVILLE, NV. 894/0 T15-265-00/90

SEEDING SPECIFICATIONS

 $\mbox{\rm All}$ seeding slope stabilization shall be in compliance with the requirements of Washoe County Public Works Department.

- 1. Scarify existing soil as needed to create friable (non-compacted) canditions.
- Dryland revegetation shall take place in the Fall to allow winter moisture to germinate seeds. Revegetation seed blends may be applied in hydroseed slurry.
- 3. Following broadcast hand seeding, a "nutritious bonded fiber matrix" hydraulic slurry shall be applied to the soil. The hydromulch shall consist of degradable green-dyed wood-cellulose fiber or IOO% recycled long-fiber pulp. Free from weeds or other foreign matter toxic to seed germination.
- 4.) AREAS SHALL BE HYDROSEEDED WITH A SLURRY MIX CONSISTING OF THE FOLLOWING

FERTILIZER: 10-10-10 @ 200 LBS/ACRE TACKIPIER, M-BINDER @ 60 LBS/ACRE MULCH: FIBER MULCH @ 1,650 LBS/ACRE SEED: REVEGETATION SEED BLEND

- 5.) All seeding shall take place following installation of woody plant material. Any seeding disturbed by planting operations will be reseeded as required to provide 10% uniformity of coverage. Areas that are to be rip rapped shall recieve ½ the seed application rate and are not temporarly irrigated.
- 6.) Temporary Irrigation shall remain in place until Irrigated revegetation is established to the approval of the Owner's Representative and Mashae County (a minimum of two full growing seasons). Contractor shall remove all temporary irrigation components upon approval by Mashae County.



60' 120' 180' Scale: 1" = 60'

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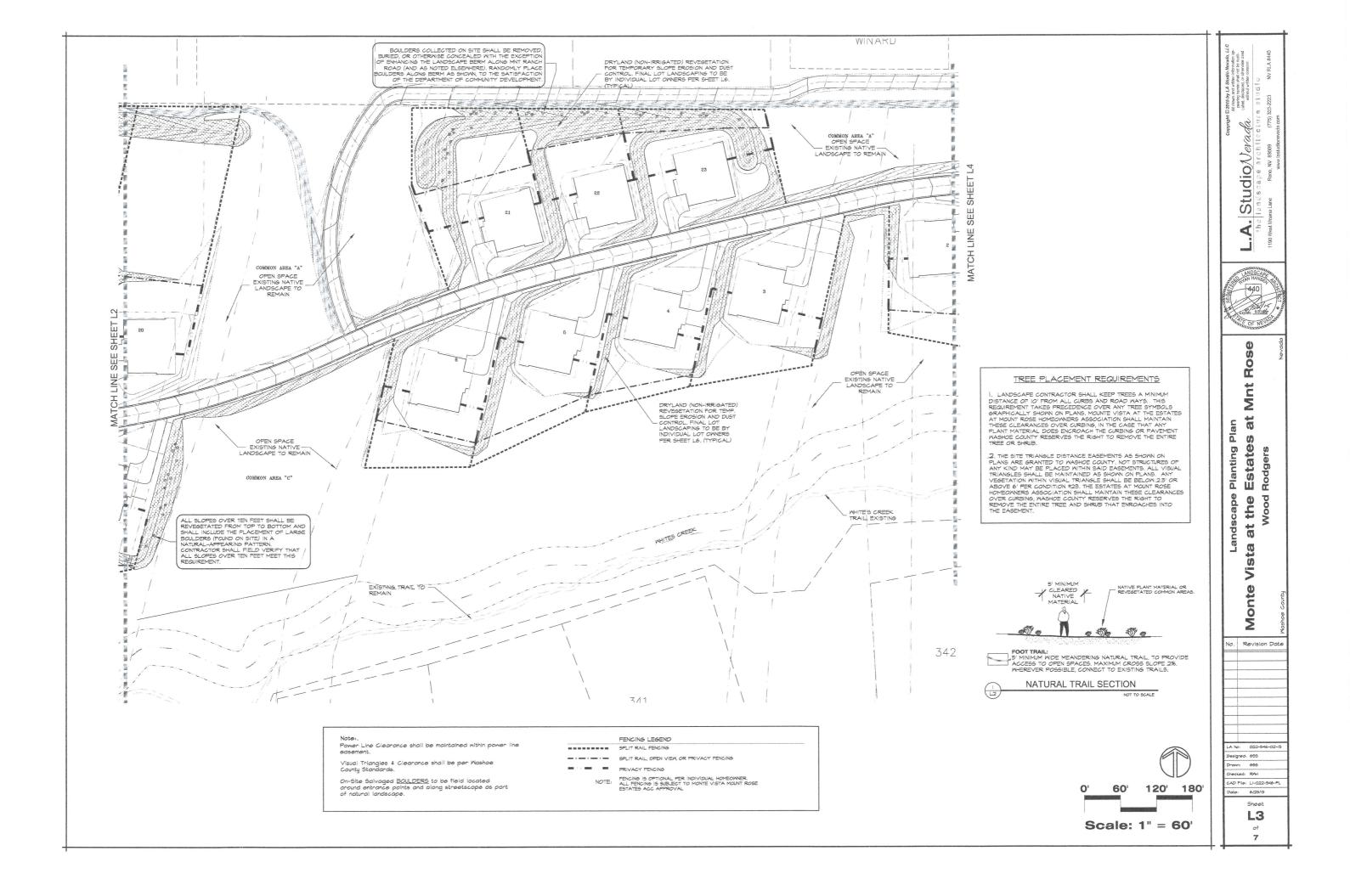
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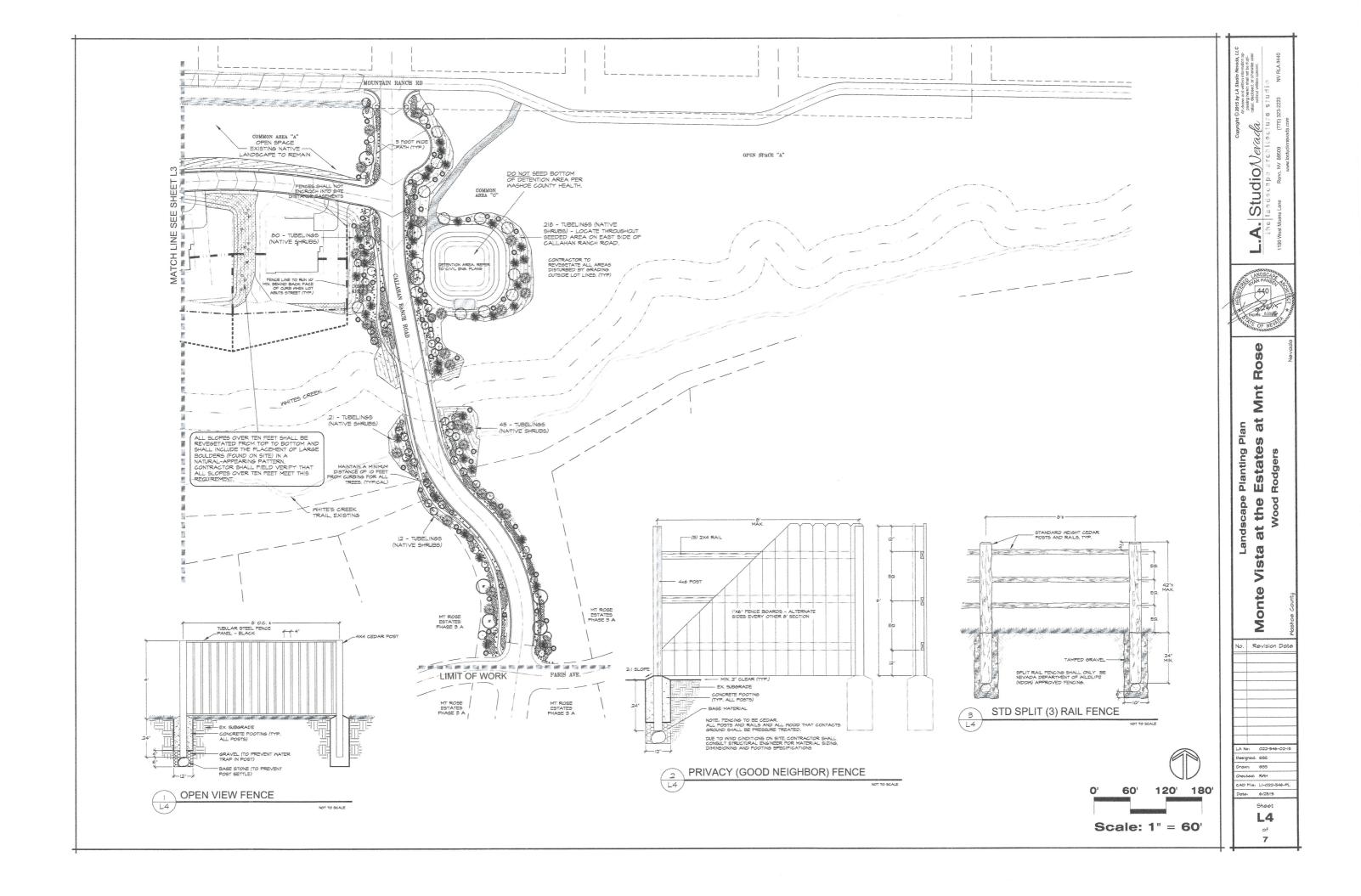
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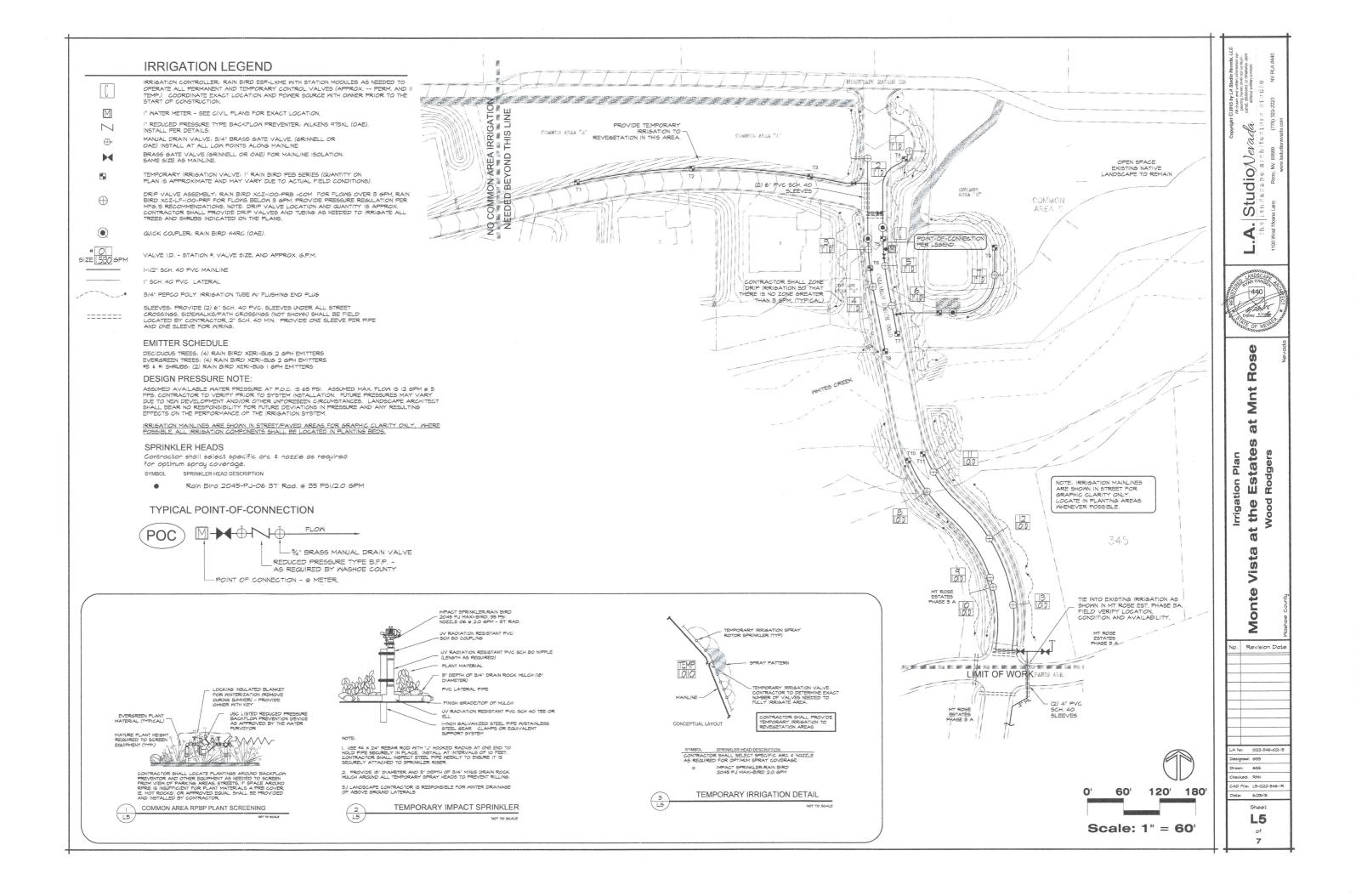
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Sheet L2

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LANDSCAPE SPECIFICATIONS

2. A MINIMUM OF TWO WORKING DAYS BEFORE PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACT SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

- B. DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER
- 4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E., PAVING, PLUMBING, ELECTRICAL, ETC.)
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO N. THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST INHICH PREVENT CONSTRUCTION AS FER THESE PLANS. COMPRECISENT OF WORK SHALL CONSTRUCTION EXCEPT FROM AND RESPONSIBILITY FOR CORRECTIONS.
- 6. CONTRACTOR ASPERS THAT, IN ACCORDANCE NITH SENERALLY ACCORDING RESEARCH ASSOCIATED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND CONFILETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE CORREST OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROFERTY, THAT THIS REQUIREMENT SHALL BIT MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL MORNING HOURS AND CONTRACTOR FURTHER ASSESS TO DEPEND, INDENNITY AND HOLD HARVILES THE OWNER FROM ANY AND ALL LIABILITY, REAL OR ALLESED, IN CONSECTION WITH THE PERSONNANCE OF MORNS ON THE PROJECT.

PLANTING

- T. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HUMPS OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT.
- 6. THE CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS FOR EXISTING SITE SOIL INCLUDING: TEXTURE CLASSIFICATION, PH. NITMOSEN, POTASSIM, PHOSPHORIS, SODIJM HAZARD, SALINITY HAZARD, AND FERTILIZATION RECOMMENDATION FOR THE NITMOZED USE: CONTRACTOR SHALL POLLOW RECOMMENDATIONS OF SOIL TEST.
- 9. INSTALL ALL PLANT MATERIALS AS PER DETAILS AND SOIL AND PLANT LAB REPORT. INFORMATION IN SOILS AND PLANT LAB REPORT SHALL PREVAIL OVER NOTES AND DETAILS.
- IO. SOIL AMENDMENT SHALL BE HIMUS COMPOSED OF TOPSOIL, BARK HIMUS, AND COMPOST. SUBMIT TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- 12. ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF THE ANSI 2601 "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN SHALL BE REJECTED. CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY OWNERS REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE OF PLOT APPROVAL MAY RESULT IN REJECTION OF PLANT MATERIAL FOLLOWING INSTALLATION. THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOR.
- 19. ALL FLANTING BEDS IN WHICH NO OTHER GROUNDCOVER IS SPECIFIED SHALL RECEIVE FOUR-INCH DEPTH OF 4-INCHMINUS RIVER ROCK (OAB) INSTALLED OVER LANDSCAPE FAERIC. LANDSCAPE FABRIC TO BE DEWITT PRO-5 WEED BARRIER (OAE INSTALLED IN ACCORDANCE WITH MYS'S SECURICATION.

- 14. LOCSEN SUBGRADE OF LAWN AREAS TO A MINIMUM DEPTH OF 6 INCHES, REMOVE STONES MEASURING OVER I INCH IN ANY DIMENSION, REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER. LIMIT PREPARATION TO AREAS WHICH MILL BE PLANTED PROMPTLY AFTER PREPARATION.
- IS, SPREAD MINIMIM 6 CY SOIL AMERICHEN (GROUND BARK BASED PRODUCT, IA'S MANUM PARTICLE SIZE, NITROSEN STABILIZED) PER (200 SF OVER AREA TO BE PLANTED, PLACE APPROXIMATELY (12 OF TOTAL AMOUNT OF SOIL AMEDIMENT REQUIRED, MORK INTO TOP OF LOOSENED SUBSKRADE BY ROTOTILLING TO CREATE A TRANSITION LAYER AND THEN PLACE REMAINDER OF SOIL AMEDIMENT.
- 16. FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, AND DRAG LAWN AREAS, REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO MEET FINISH GRADES. LIMIT FINE GRADINS TO AREAS WHICH MILL BE FLANTED INVESTIGATED AFTER GRADINS. FINISH GRADES SHALL BE AS NEEDED BELOW PAVEMENT EDGES TO ALLOW FOR SOD PLACEMENT.
- IT, MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY, WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS, DO NOT CREATE A MUDDY SOIL CONDITION. I6, LAY SOD PIECES TIGHTLY TOGETHER WITH NO GAPS BETWEEN PIECES, STAGGER PIECES SUCH THAT SEAMS ALTERNATE EVERY OTHER ROW.
- IG. IRRIGATE AND ROLL ENTIRE SOD AREA WITH 200 LB (MIN.) ROLLER SUCH THAT THE FINISH SOD LAWN IS FREE OF HIMPS AND DEPRESSIONS.
- 20. REPAIR ANY DAMAGE FROM OTHER CONSTRUCTION ACTIVITIES AND REPLACE ANY PIECES WHICH DO NOT ROOT AND GROW, SUCH THAT THERE ARE NO BARE SPOTS THROUGHOUT SOD LAWN.

EDGE DRAINS/SITE DRAINAGE

- 21. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A COPY OF THE PROJECT GEOTECHNICAL REPORT. CONTRACTOR SHALL INCORPORATE ALL SHE DRAINAGE RECOMMEDIDATIONS INCLIDING, BUT NOT LIMITED TO, EDGE DRAINS, SET BACKS FOR IRRIGATION AND PLANTINGS FROM BUILDINGS AND POLYDRATIONS, ETC.
- 22. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER'S REPRESENTATIVE, A MINIMUM OF 48 HOURS IN ADVANCE, FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:

- A. PRECONSTRUCTION MEETING WITH ALL PARTIES
 B. PLANT MATERIAL. ON SITE, PRIOR TO INSTALLATION
 C. PLANT LOCATIONS STARED OUT, PRIOR TO PLANTING
 C. OPEN TRENCH MAINLINE (WITH VALVES ATTACHED) PRESSURE TEST
 SIRRICATION COVERNAMENT (WITH VALVES ATTACHED)
 SIRRICATION COVERNAMENT (WITH VALVES ATTACHED)
- 23. SUBMIT AMENDMENT AND MULCH SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. FAILURE TO COMPLY MAY RESULT IN REJECTION OF MULCH OR AMENDMENT PRIOR TO OR FOLLOWING INSTALLATION.
- A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE PROJECT OWNER'S REPRESENTATIVE WITHIN TWO MEEKS OF THE AWARD OF CONTRACT, SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL MATERIALS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- B. THE REQUEST WILL BE ACCOMPANIED BY AT LIFAST THREE NOTICES FROM PLANT MATERIAL SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE AND WILL NOT BE AVAILABLE PRIOR TO CONSTRUCTION.
- 25. SUBMIT REQUIRED SOIL REPORT, AND SAMPLE OF PROPOSED SOIL AMENDMENTS TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- 26. RECORD (AS-BULT) DRAWINGS. FOLLOWING COMPLETION OF PROJECT INSTALLATION, AND PRIOR TO FINAL APPROVAL, CONTRACTOR SHALL PREPARE AND SUBMIT RECORD DRAWINGS DEPICTING A COMPLETE LANDSCAPE AND IRRIGATION INSTALLATION, PROCURE FROM OWNER FULL-52 SEPIAS OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON INSTALLATION, PROCURE FROM OWNER FULL-52 SEPIAS OF CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL MORE INSTALLED DURING EACH DAY. ACTUAL LOCATION OF TREES AND SHALPS BEDD, IRRIGATION VALVES, AND ALL REGIGES ON AND SHALLED DURING SHOW IN STALLED DURING SHOWN ON THE PRIVAL BY THE WORLD SHOW IN STALLED DURING SHOWN ON THE PRIVAL BY THE WORLD SHOW IN STALLED DURING SHOWN ON THE PRIVAL BY THE PRIVAL BY THE AND CASTAGE AND

GUARANTEES/WARRANTY

- 27. UPON COMPLETION OF THE LANDSCAPE AND IRRIGATION SYSTEMS, THE OWNER/DEVELOPER SHALL SUBMIT A (NET STAMPED) CERTIFICATION LETTER FROM HANGEN LANDSCAPE ARCHITECTS (175) 322-6614, STATING THAT THE INSTALLATION IS IN COMPORTANCE WITH THE APPROVED PLANS.
- IN CONTRIVENCE WITH THE APPROVED PLANS.

 29. ALL FLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING WRITTEN ACCEPTANCE BY OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR RILL GUARANTEE ALL FLANT MATERIAL (INCLIDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVER, AND GRASSES) FOR A PERIOD OF ONE RULL TEAR FOLLOWING FINAL ACCEPTANCE OF THE LANDSCAPE CONTRACTOR REPRESENTATIVE. IN BIDDING AND INSTANDING THE PLANT MATERIAL SPECIFIED ON THISSE FLANS, THE LANDSCAPE CONTRACTOR AGREES THAT THE FLANT MATERIAL SPECIFIED SUITABLE TO THE PROJECT SITE. FURTHERWORE, THE LANDSCAPE CONTRACTOR AGREES TO HOME THE FLANSANTY AND, IF NECESSARY, REPLACE SPECIES WITH A MORE HARDY FLANT TYPE IF DEVELOPED NECESSARY DUE TO EXCESSIVE DIE OUT. IF THE LANDSCAPE CONTRACTOR BOSON NOT BELLEVE CERTAIN FLANT MATERIAL IS SUSTABLE FOR THE STANTANT OF MICRO-CLIMATES, THE LANDSCAPE CONTRACTOR FOR THE MARGACIES TO HAD MADERIAL SUBSTITUTIONS OF MICRO-CLIMATES, THE LANDSCAPE CONTRACTOR FOR THE START OF INSTALLATION. PROPROSED SUBSTITUTIONS WITH AND MICRITIS OF THE LANDSCAPE CONTRACTOR FOR THE START OF INSTALLATION. PROPROSED SUBSTITUTIONS WILL RESULT IN NO ADDITIONAL SUBSTITUTION SUBSTITUTIONS WILL RESULT IN NO ADDITIONAL SUBSTITUTIONS

DIANTIECEND OPNAMENTAL FRONT VARDS

	PLAN	II LEG	SEND - ORNAMENTAL FRONT YA	ARDS
	SYM.	QNT.	BOTANICAL NAME/COMMON NAME	MIN. SIZE
			DECIDUOUS TREES	
فاسمح	water)	Į.	Acer rubrum 'Bowhail'/Bowhail Maple	.2" Cal.
6		1	Pyrus calleryana 'Rødspire'/Rødspire Pear	2º Cal.
Z.	\$ J.	3	Robinia x ambigua "idahoensis"/Idaho Locust	2º Cal.
	May go	1	EVERGREEN TREES	
-		2	Cupressocyparis Leylandii/Leyland Cypress	6' Min. Ht.
7	XXXX	I	Pinus nigra/Austrian Pine	6' Min. Ht.
-	XH-XX		SHRUBS	
	(J)	2	Aucuba japonica'Gold Spot'/Japanese Aucuba	5 gal.
	B	6	Berberis thunbergii 'Rose Glow'/Japanese Barberry	l gal.
	(A)	7	Buxus microphylla Winter Gem!/Winter Gem Boxwood	5 gal.
	D	12	Comus sericea "Isanti"/Redtwig Dodwood	l gal.
	A	7	Juniperus chinensis 'Armstrongii'/Armstrong Juniper	5 gal.
	0	.28	Juniperus horizontalis 'Blue Chip'/Blue Chip Juniper	5 gal.
	Θ	17	Calamagrostis x acutiflora/Karl Foerster grass	l gal.
	P	17	Pinus mugo 'Pumillo'/Dwarf Mugho Pine	5 gal.
	E	12	Perovskia atriplicifolia/Russian Sage	gal.
	®	10	Rosa x noare/Red Groundcover Rose	2 gal.
	9	14	Spiraea bumaida "Limemound" Spiraea	5 gal.
			GROUNDCOVERS	
			Kentucky Bive Grass 'Derby' Blend (Western Turf)	
	_		ROCK BOULDERS	
	R of	GUANTITY AS NEEDED	BOULDER ROCKS SYMBOLS ARE SHOWN FOR GRAFHIC PURPOSES. BOULDERS SELECTED FROM ON SITE AND FROM OFF SITE SHALL BE FIELD AND RANDOMLY LOCATED FOR ACCENT MIXED SIZES TO BE APPROX. 24" - 36" DIAMETER	
			The order to be to the true to a but be total	



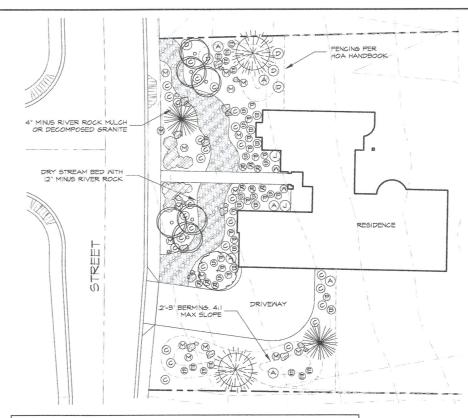
ORNAMENTAL FRONTYARD LANDSCAPE OPTION

PLANT LEGEND - XERISCAPE

		TEMMI ELOCIAD MEMORIA E	
SYM.	QNT.	BOTANICAL NAME/COMMON NAME	MIN. SIZE
	\	DECIDUOUS TREES	
mon) 6	Populus trembloides/Quaking Aspen	2" Cal.
	} !	Fyrus calleryana "Redspire"/Redspire Pear	.2" Cal.
THE STATE OF THE S	(1 ₂ ,	EVERGREEN TREES	
	2	Cupressocyparts Leylandli/Leyland Cypress	6' Min. Ht.
FXXXXX	2	Pinus nigra/Austrian Pine	6' Min. Ht.
XXXX		SHRUBS	
(J)	2	Aucuba japonica'Gold Spot'/Japanese Aucuba	5 gal.
₿	8	Berberis thunbergii 'Rose Glow'/Japanese Barberry	l gal.
(A)	2	Buxus microphylla Winter Gemi/Winter Gem Boxwood	5 gal.
D	5	Comus sericea 'Isanti'/Redtwig Dodwood	I gal.
A	6	Juniperus chinensis 'Armstrongil'/Armstrong Juniper	5 gal.
0	29	Juniperus horizontalis 'Blue Chip'/Blue Chip Juniper	5 gal.
Θ	17	Calamagrostis x acutiflora/Karl Foerster grass	I gal.
P	16	Pinus mugo 'Pumilio'/Dwarf Mugho Pine	5 gal.
E	12	Perovskia atriplicifolia/Russian Sage	l gal.
8	Ø	Rosa x noare/Red Groundcover Rose	2 gal.
6	q	Spiraea bumaida "Limemound" Spiraea	5 gal.
		DRY STREAM BED WITH	

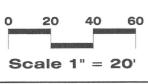
ROCK BOULDERS

BOULDER ROCKS SYMBOLS ARE SHOWN FOR GRAPHIC PURPOSES.
BOULDERS SELECTED FROM ON SITE AND FROM OFF SITE SHALL. BE FIELD AND RANDOMLY LOCATED FOR ACCENT XIXED SIZES TO BE APPROX. 24" - 36" DIAMETER



XERI-SCAPE FRONTYARD LANDSCAPE OPTION





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Landscape States at Frontyard Lat the E at Typical sta 5 nte

0 No. Revision Date

A No: 022-546-02-1 Designed: 655 Drawn: 655 Checked: RMH

CAD File: L6-022-546 Date: 6/25/15

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