

DRC Submittal

Monte Vista at Estates of Mount Rose

Submitted to Washoe County

June 26, 2015

Original

Prepared for

TL Mt. Rose Estates, LP

330 Douglas Blvd., Ste. 45

Roseville, CA 95611

Prepared by



WOOD RODGERS

DEVELOPING INNOVATIVE DESIGN SOLUTIONS

5440 Reno Corporate Drive Tel: 775.823.4068

Reno, NV 89511 Fax: 775.823.4066

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Monte Vista at Estates at Mount Rose			
Project Description: 23 Unit Single Family Residential Subdivision			
Project Address: North End of Callahan Ranch Road			
Project Area (acres or square feet): 58 acres			
Project Location (with point of reference to major cross streets AND area locator): North end of Callahan Ranch Road north of Paris Avenue			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
150-460-05	58.06		
Section(s)/Township/Range: North 1/2 of Section 35, Township 18 North, Range 19 East			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). TM11-001			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: TL Mt. Rose Estates, L.P.		Name: Wood Rodgers	
Address: 330 Douglas Blvd. Ste. 450		Address: 5440 Reno Corporate Drive	
Roseville, CA	Zip: 95661	Reno, NV	Zip: 89511
Phone: 916-783-3420	Fax:	Phone: 775-823-4068	Fax: 775-823-4066
Email: rbalestreri@timlewis.com		Email: tgamill@woodrodgers.com	
Cell: 916-425-5657	Other:	Cell: 775-690-2050	Other:
Contact Person: Rich Balestreri		Contact Person: Todd Gammill	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as owner		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Director's Modification Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code Section 110.410.35 – Modification of Standards allows the Director of Planning and Development to modify parking standards due to the, “unusual nature” of the establishment proposed. Section 110.412.05(d) – Review of Extenuating Circumstances allows the Director of Planning and Development to conduct a special review of landscaping standards resulting from “extenuating circumstances or physical conditions” on the proposed project site.

1. What modification to the parking standards are you requesting? **Be specific.** For example, if this is a parking space modification, how many parking spaces are required and how many are you proposing. If this request is to use decomposed gravel (D.G.) in lieu of asphalt, what is the proposed depth of and compacting of the D.G.? What portion of the parking area will be D.G.?

Not applicable.

2. What modification to the landscaping standards are you requesting? **Be specific.** For example, is this a request to reduce the landscaping from 20% to 15%, or to utilize 50% inert materials at maturation?

No modification requested.

3. Why is the modification necessary to the success of the project? **Be specific.** Please address the “unusual nature” of the establishment proposed or the “extenuating circumstances or physical conditions” on the proposed project site.

Not applicable.

4. What exchanges are you proposing to mitigate the effect of the reduction in landscaping, parking or both? (For example planting a specific number of additional trees in exchange for a reduction in required landscape coverage.)

Not applicable.

APPLICATIONS	DEPARTMENT FEES							
	Planning			District Health Department				TOTAL
	PLANNING	Noticing	ENGINEERING	ENVIRON.	VECTOR	PARKS	WATER	
TRUCKEE MEADOWS REGIONAL PLANNING AGENCY NOTICING FEE	See Note 4							
VARIANCE - RESIDENTIAL/COMMERCIAL/INDUSTRIAL								
Not Tahoe	\$1,060	\$200	\$65	\$71	\$155	-	\$26	\$1,577
Tahoe	\$1,060	\$200	\$65	\$71	\$155	-	-	\$1,551

NOTE 1: \$5,000 deposit on time and materials. Additional \$5,000 increments may be required.

NOTE 2: \$750 fee capped by NRS for Division of Land into Large Parcels only.

NOTE 3: \$50 per hour after first 1/2 hour for Planner, \$20 per hour after first 1/2 hour for Clerk, Public Records Research/Copying.

NOTE 4: Fee to be established by Truckee Meadows Regional Planning Agency.

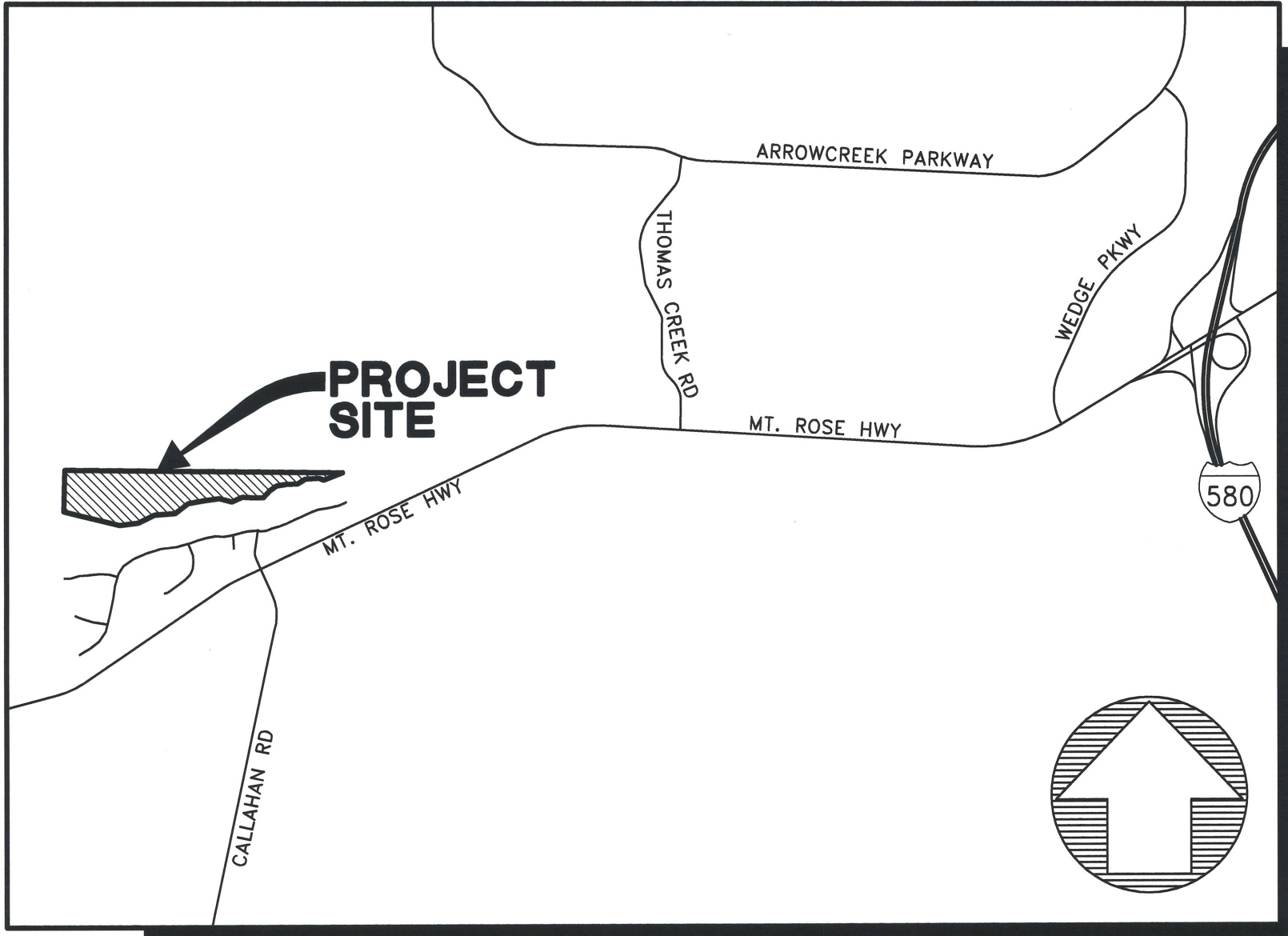
NOTE 5: The Engineering Department will require a separate check for technical map fee. Please check with Engineering for the current fee amount.

NOTE 6: Separate checks are required for the Nevada Departments of Environmental Health and Water Resources. See Submittal Requirements.

In accordance with Nevada Revised Statutes, application fees must be deposited the day of receipt.

This does not guarantee the application is complete.

*The following are major permit applications: bed and breakfast inns; commercial animal slaughtering; convention and meeting facilities; destination resorts; eating and drinking establishments; gasoline sales and service stations - convenience and full service; gaming facilities: limited and unlimited; hostels; hotels and motels; liquor sales on premises; lodging services; major public facilities; recycling centers: full service and remote collection and residential hazardous substances; vacation time shares. All other uses constitute minor permits.



VICINITY MAP

NOT TO SCALE

IMPROVEMENT PLANS FOR
**MONTE VISTA AT
 THE ESTATES AT MT ROSE**
 WASHOE COUNTY NEVADA

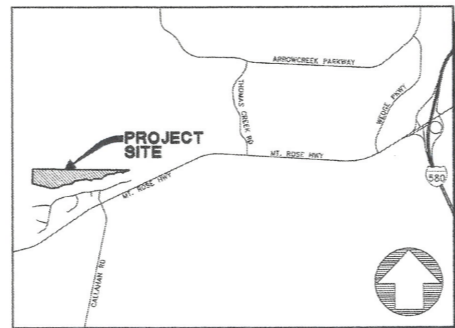
OWNER/DEVELOPER
 TL MT. ROSE ESTATES, L.P.
 3300 DOUGLAS BLVD. , STE. 450
 ROSEVILLE, CA 95661
 (916)783-2300

BASIS OF BEARINGS:

NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NORTH AMERICAN DATUM OF 1983/1984, HIGH ACCURACY REFERENCE NETWORK (NAD 83/94-HARN), AS DETERMINED USING REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS WITH CORRECTIONS TRANSMITTED BY WASHOE COUNTY CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "ZOLEZZI". ALL DIMENSIONS SHOWN ARE GROUND DISTANCES. COMBINED GRID-TO-GROUND FACTOR = 1.000197939.

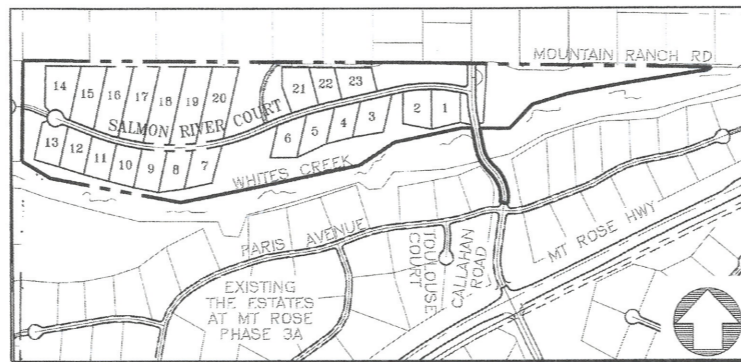
BASIS OF ELEVATION:

NORTH AMERICAN VERTICAL DATUM OF 1988 WITH THE COMMON CORNER TO SECTIONS 25, 26, 35 AND 36 TAKEN AS 5459.52 FEET ABOVE MEAN SEA LEVEL AS DETERMINED BY REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS WITH CORRECTIONS TRANSMITTED BY WASHOE COUNTY CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "ZOLEZZI" USING THE CONTINENTAL UNITED STATES GEOID MODEL OF 1999 (CONUS99).



VICINITY MAP

NOT TO SCALE



SITE PLAN

NOT TO SCALE

DESIGN ENGINEER:


WOOD RODGERS
 DEVELOPING INNOVATIVE DESIGN SOLUTIONS
 5440 Reno Corporate Drive Tel 775.823.4068
 Reno, NV 89511 Fax 775.823.4066

ENGINEERS STATEMENT:

THESE PLANS, SHEETS T-1 THROUGH EC-1, HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, COUNTY ORDINANCES, STANDARDS, TENTATIVE MAP CONDITIONS, AND CITY COUNCIL CONDITIONS. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND WASHOE COUNTY STANDARDS, THE STANDARDS SHALL APPLY.

SHEET INDEX

SHT No.	DWG ID	DRAWING DESCRIPTION
1	T-1	TITLE SHEET
2	N-1	GENERAL NOTES AND SPECIFICATIONS
3	N-2	GENERAL NOTES AND SPECIFICATIONS
4	1/5	FINAL MAP
5	2/5	FINAL MAP
6	3/5	FINAL MAP
7	4/5	FINAL MAP
8	5/5	FINAL MAP
9	U-1	UTILITY, SIGNAGE & STRIPING PLAN
10	U-2	UTILITY, SIGNAGE & STRIPING PLAN
11	U-3	UTILITY, SIGNAGE & STRIPING PLAN
12	G-1	GRADING PLAN
13	G-2	GRADING PLAN
14	G-3	GRADING PLAN
15	G-4	GRADING PLAN
16	P-1	PLAN AND PROFILE
17	P-2	PLAN AND PROFILE
18	P-3	PLAN AND PROFILE
19	P-4	PLAN AND PROFILE
20	P-5	PLAN AND PROFILE
21	P-6	PLAN AND PROFILE
22	P-7	PLAN AND PROFILE
23	D-1	DETAIL SHEET
24	D-2	DETAIL SHEET
25	D-3	DETAIL SHEET
26	D-4	DETAIL SHEET
27	D-5	DETAIL SHEET
28	EC-1	EROSION CONTROL PLAN
29	B-1	BORING LOGS
30	L-1	LANDSCAPE PLAN
31	L-2	LANDSCAPE PLAN
32	L-3	LANDSCAPE PLAN
33	L-4	LANDSCAPE PLAN
34	L-5	LANDSCAPE PLAN
35	L-6	LANDSCAPE PLAN
36	L-7	LANDSCAPE PLAN

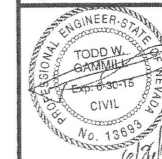
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD TL MT. ROSE ESTATES, L.P. AND THE DESIGN CONSULTANT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF TL MT. ROSE ESTATES, L.P. OR THE DESIGN CONSULTANT.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

FINAL CONSTRUCTION SET

NO.	DESCRIPTION	ENGINEER	DATE

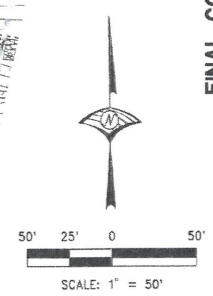
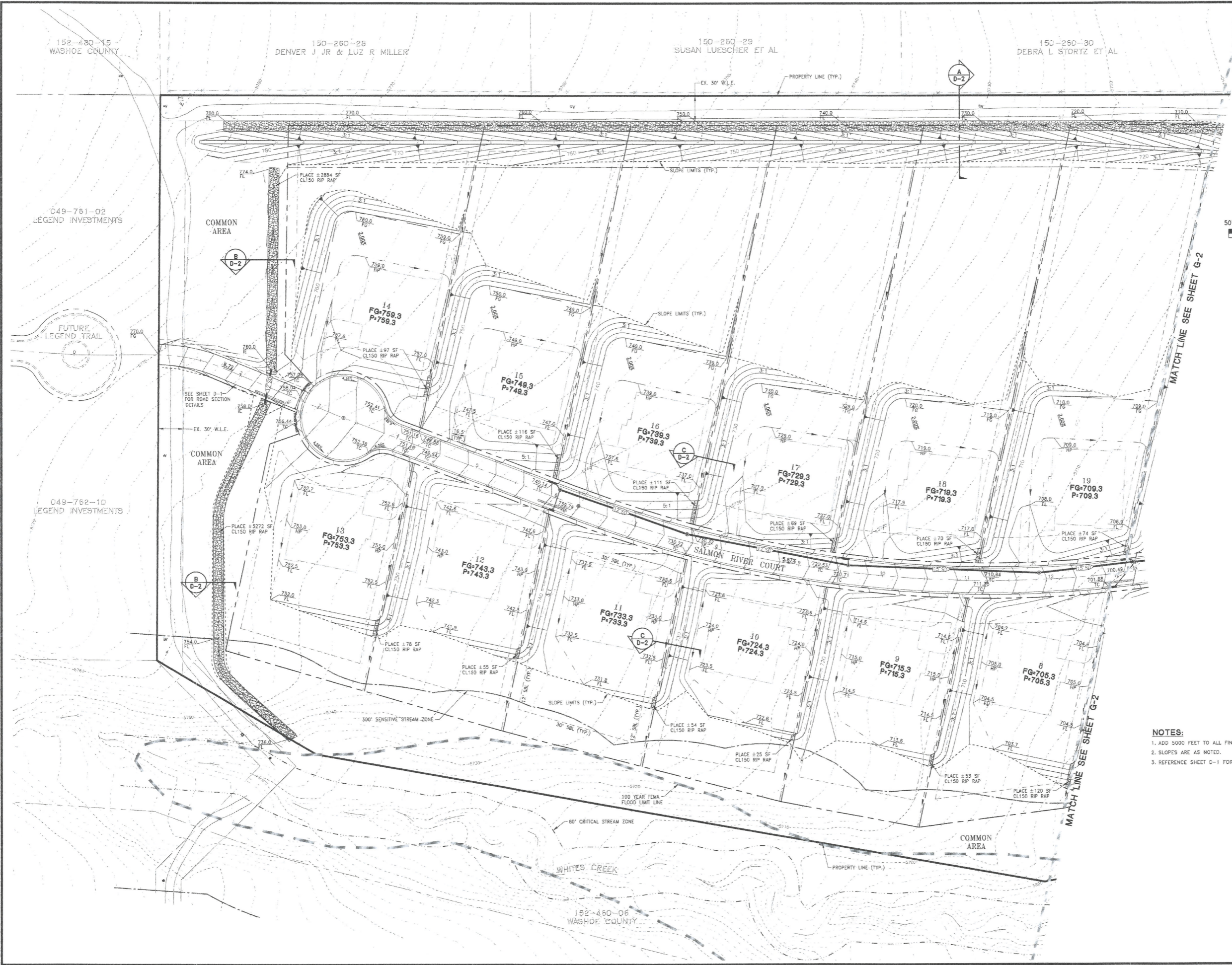
DATE: JUNE, 2015
 SCALE: NTS
 DRAWN BY: CBT, LCS, ILL3
 DESIGNED BY: TWG
 CHECKED BY: TWG



WOOD RODGERS
 DEVELOPING INNOVATIVE DESIGN SOLUTIONS
 5440 Reno Corporate Drive Tel 775.823.4068
 Reno, NV 89511 Fax 775.823.4066

IMPROVEMENT PLANS FOR
**MONTE VISTA AT
 THE ESTATES AT MT ROSE**
 WASHOE COUNTY NEVADA
TITLE SHEET

PROJECT NO.
1558.007
 DRAWING
T-1



FINAL CONSTRUCTION SET

NO.	DESCRIPTION	ENGR. INST.	DATE

DATE: JUNE, 2015
 SCALE: 1" = 50'
 DRAWN BY: CBT, LCS, ANV
 DESIGNED BY: IMG
 CHECKED BY: TWG



WOOD RODGERS
 INNOVATIVE DESIGN SOLUTIONS
 DEVELOPING THE FUTURE
 8440 Reno Corporate Drive
 Reno, NV 89511
 Tel: 775.823.4088
 Fax: 775.823.4088

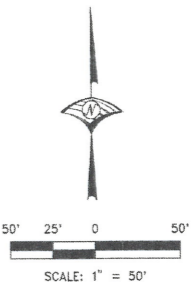
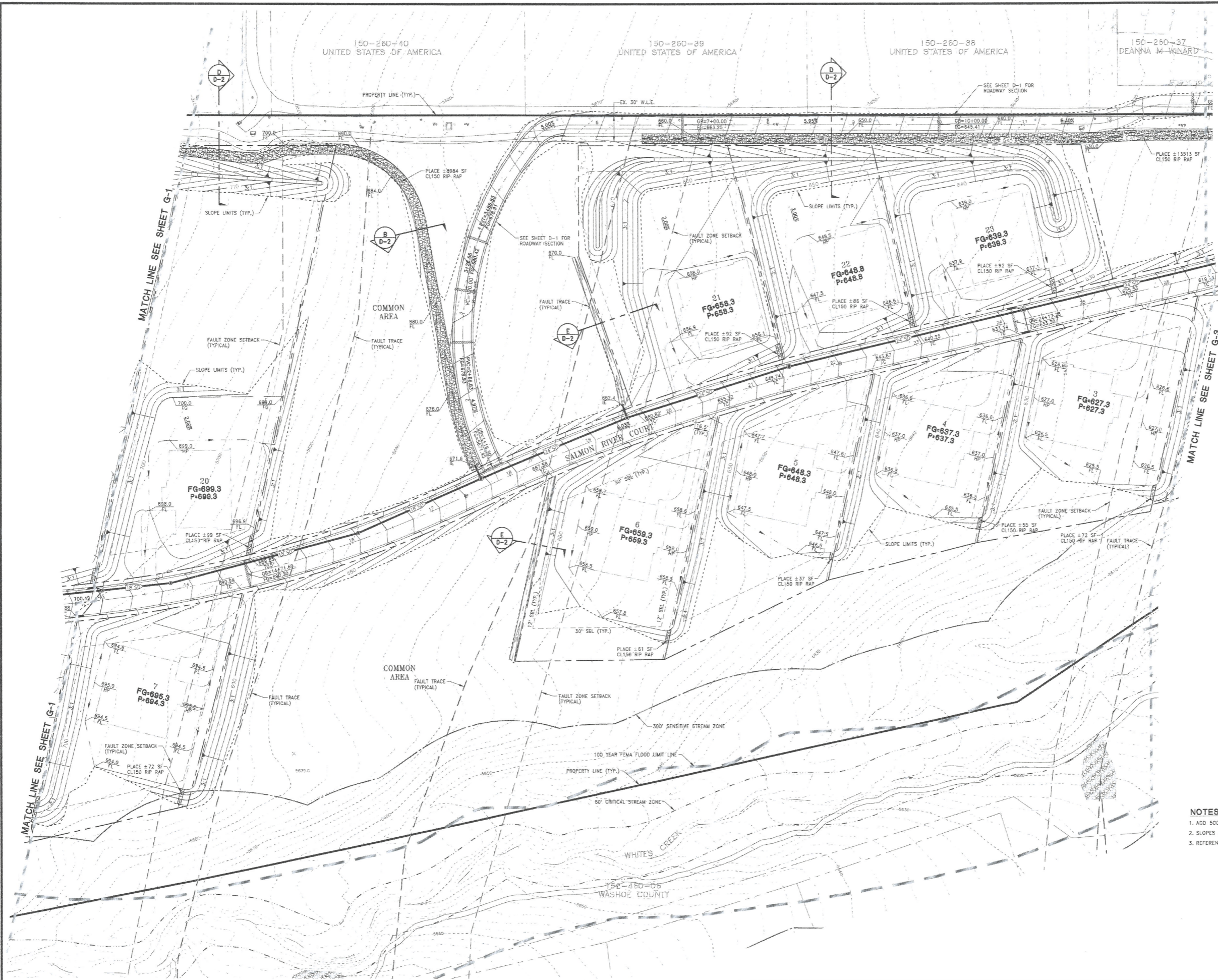
NEVADA

IMPROVEMENT PLANS FOR
**MONTE VISTA AT
 THE ESTATES AT MT ROSE**
 GRADING PLAN

WASHOE COUNTY
 PROJECT NO. 1558.007
DRAWING G-1
 SHT 12 OF 36

- NOTES:**
1. ADD 5000 FEET TO ALL FINISHED GRADE ELEVATIONS.
 2. SLOPES ARE AS NOTED.
 3. REFERENCE SHEET D-1 FOR LOT GRADING DETAILS.

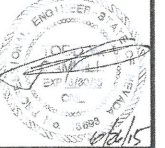
A:\Jobs\1558-Estates At Mt. Rose\Phase_06_2010\GWA\Draw\G-12.dwg 6/26/2015 8:36 AM Todd Gammill



FINAL CONSTRUCTION SET

NO.	DESCRIPTION	ENGR. DATE

DATE: JUNE, 2015
 SCALE: 1" = 50'
 DRAWN BY: CBT, LCS, ANV
 DESIGNED BY: JWG
 CHECKED BY: TWG



WOOD RODGERS
 ENGINEERING, INC.
 2100 W. WASHOE DRIVE
 RENO, NV 89511
 TEL: 775.853.4066
 FAX: 775.853.4066

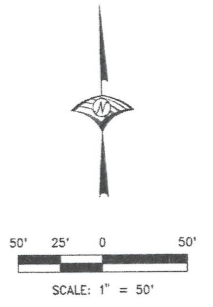
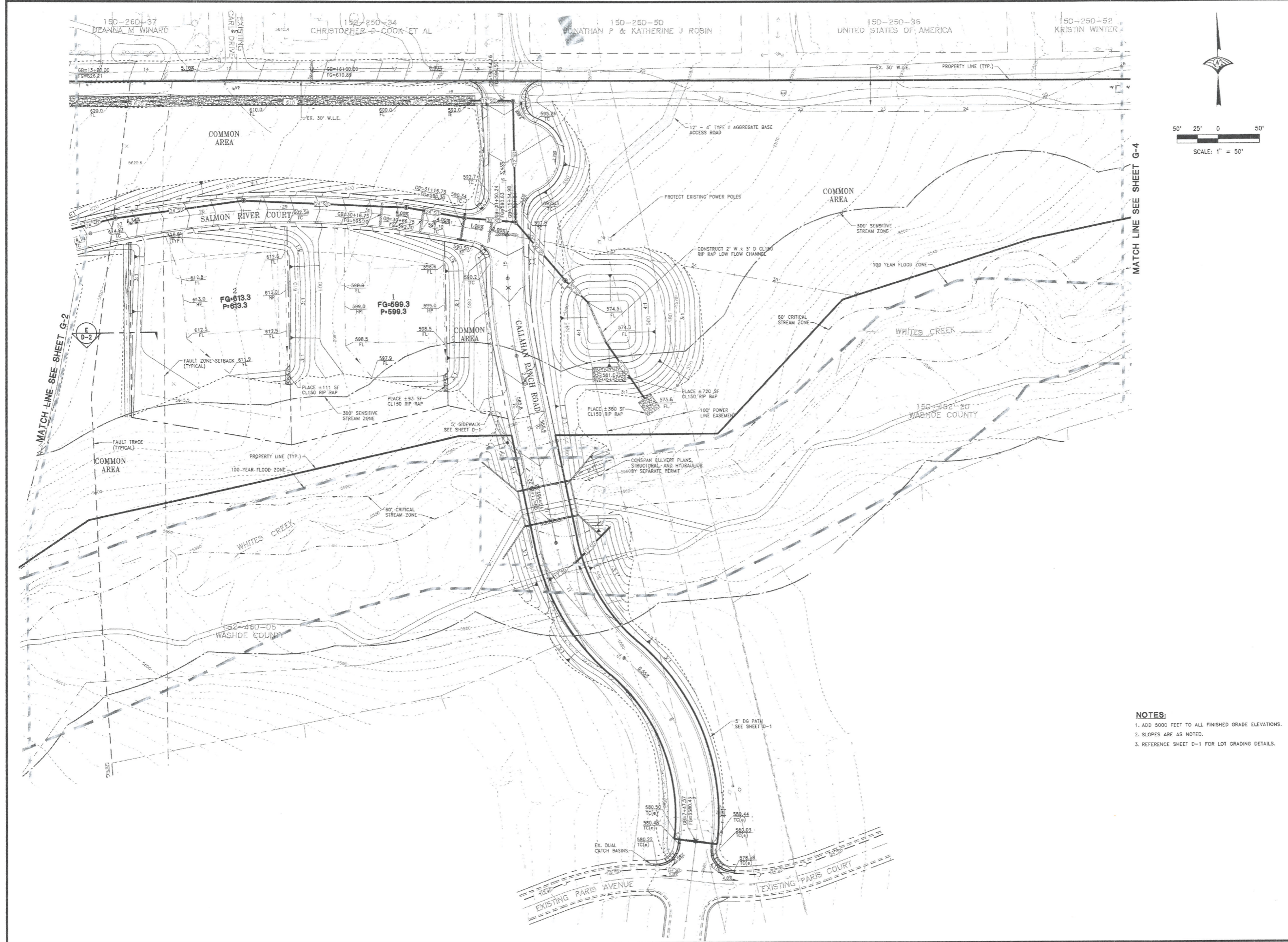
NEVADA

IMPROVEMENT PLANS FOR
**MONTE VISTA AT
 THE ESTATES AT MT ROSE**
 GRADING PLAN

WASHOE COUNTY
 PROJECT NO.
 1558.007
 DRAWING
G-2
 SHEET 13 OF 36

- NOTES:**
1. ADD 5000 FEET TO ALL FINISHED GRADE ELEVATIONS.
 2. SLOPES ARE AS NOTED.
 3. REFERENCE SHEET D-1 FOR LOT GRADING DETAILS.

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NOTES:
 1. ADD 5000 FEET TO ALL FINISHED GRADE ELEVATIONS.
 2. SLOPES ARE AS NOTED.
 3. REFERENCE SHEET D-1 FOR LOT GRADING DETAILS.

FINAL CONSTRUCTION SET

NO.	DESCRIPTION	ENCR	DATE

DATE: JUNE, 2015
 SCALE: 1" = 50'
 DRAWN BY: CBT, LCA, ANY
 DESIGNED BY: TWG
 CHECKED BY: TWG

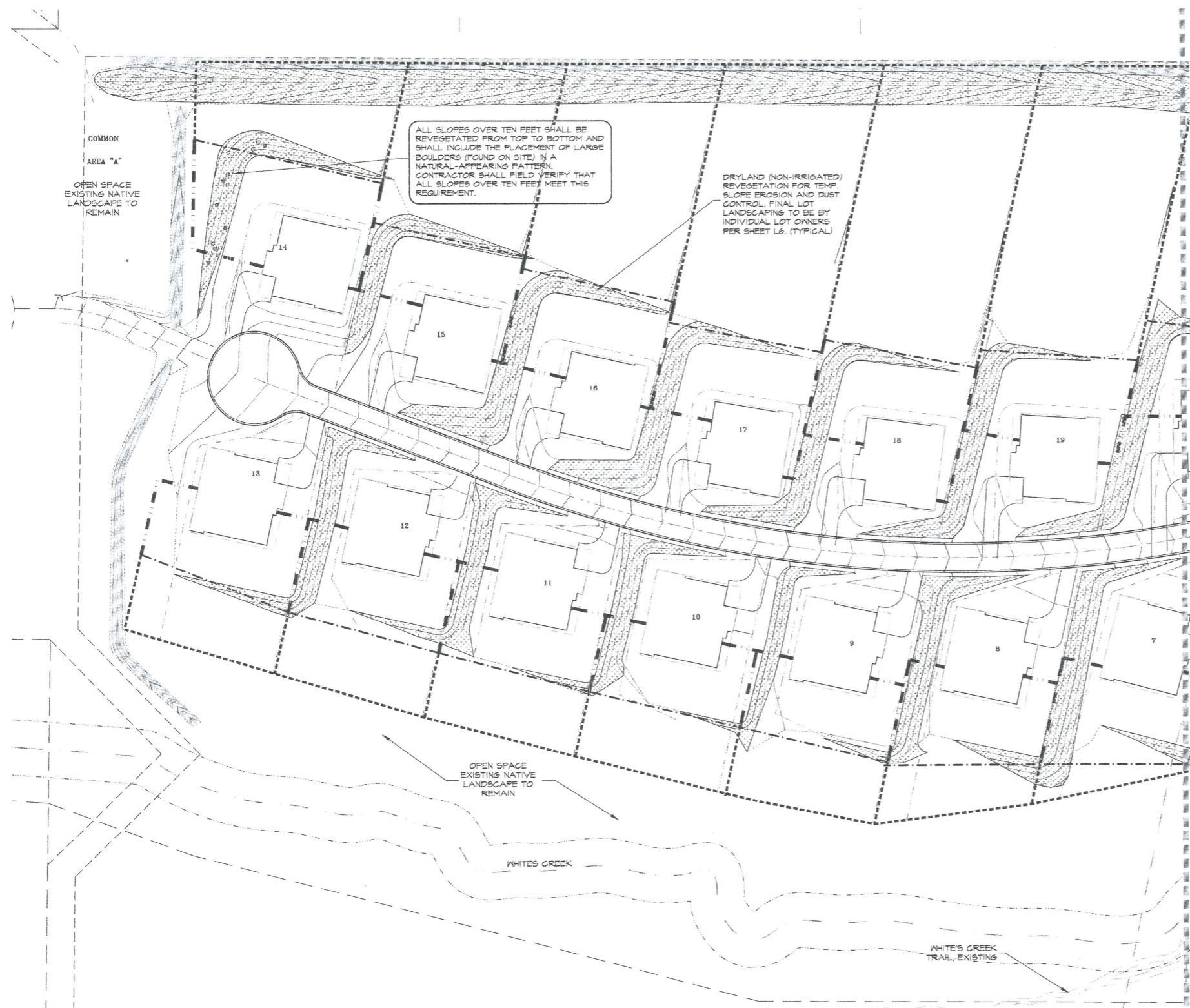


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 8440 Reno Corporate Drive
 Reno, NV 89511
 Tel: 775-823-4068
 Fax: 775-823-4068

NEVADA
 IMPROVEMENT PLANS FOR
MONTE VISTA AT ROSE
THE ESTATES AT MT ROSE
 WASHOE COUNTY
GRADING PLAN

PROJECT NO.
1558.007
 DRAWING
Q-3
 SHIT 14 OF 36

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Note:
Power Line Clearance shall be maintained within power line easement.
Visual Triangles & Clearance shall be per Washoe County Standards.
On-Site Salvaged BOULDERS to be field located around entrance points and along streetscape as part of natural landscape.

FENCING LEGEND
 - - - - - SPLIT RAIL FENCING
 - · - · - SPLIT RAIL, OPEN VIEW OR PRIVACY FENCING
 - - - - - PRIVACY FENCING

NOTE:
FENCING IS OPTIONAL PER INDIVIDUAL HOMEOWNER. ALL FENCING IS SUBJECT TO MONTE VISTA MOUNT ROSE ESTATES ACC APPROVAL.

COMMON AREAS PLANT LEGEND

SYM.	QTY.	BOTANICAL NAME/Common Name	MIN. SIZE	TYPICAL SPACING
TREES				
22		Acer glabrala/Amur Maple Multi Stem	3 Main Stems Min, 6' Ht.	
8		Acer platanoides 'Crimson King'/C.K. Maple	2' Cal.	
17		Celtis occidentalis/Common Hackberry	2' Cal.	
15		Malva 'Indian Summer'/Indian Summer Crabapple	1' Cal.	
24		Populus tremuloides/Quaking Aspen	1' Cal.	
25		Pinus jefferyi/Jeffrey Pine	8' Ht.	
31		Pinus nigra/Austrian Pine	8' Ht.	
21		Juniperus scopulorum/Rocky Mt. Juniper	6' Ht.	
SHRUBS Field Locate - Plant in groupings consistent with the earlier phases of Mount Rose Estates				
25		Acer glabrala 'Flame'/Flame Amur Maple	5 Gal.	6'
85		Amelanchier alnifolia/Serviceberry	5 Gal.	5'
35		Cercocarpus ledifolius/Mountain Mahogany	5 Gal.	6'
12		Cornus stolonifera 'Istanti'/Redtwig Dogwood	5 Gal.	4'
25		Cotoneaster dammeri 'Coral Beauty'/C.B. Cotoneaster	5 Gal.	5'
42		Ribes odoratum 'Crandall'/Glove Scented Currant	5 Gal.	5'
15		Perovskia atriplicifolia/Russian Sage	5 Gal.	4'
40		Fraxinus andersonii/Desert Peach	5 Gal.	6'
34		Rhus trilobata/Oakbrush Sumac	5 Gal.	6'
42		Shepherdia argentea/Silver Buffaloberry	5 Gal.	6'
GRASSES -				
42	3154/-	Calamagrostis x acutiflora/Weather Reed Grass	1 Gal. 5'x2'	
		Panicum virgatum/Cheyanne Sky/Switch Grass		

DRYLAND NON-IRRIGATED REVEGETATION
 TEMPORARY IRRIGATED REVEGETATION

1) SLOPE RESTORATION AS DEPICTED ON THESE PLANS REFLECTS SEEDING PROCEDURES ONLY. CONTRACTOR SHALL PROVIDE JUTE MATTING OR OTHER EROSION CONTROL FABRIC IF REQUIRED PER THE PROJECT GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

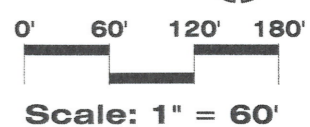
GRASSES	PLS/LBS PER ACRE
WHEATGRASS CRESTED/BLUEBUNCH WHEATGRASS	4.0
WHEATGRASS SLENDER (NURSE CROP)	4.0
BLUEGRASS CANBY/SANDBERG	4.0
WILD RYE GREAT BASIN MANSOUR/NATIVE	2.0
RYEGRASS ANNUAL (NURSE CROP)	5.0
SHRUBS	
SAGEBRUSH PYGMY	0.5
RABBITBRUSH	0.5
MOUNTAIN MAHOGANY	2.0
NORWON TEA GREEN	0.5
BITTERBRUSH	1.0
SPINY HOPSAGE	0.5
DESERT PEACH	0.5
SALTERBRUSH SHADSCALE	1.0
FLOWERS	
DRYLAND AGGRESSIVE BLEND	3.5
TOTAL PLS/52.0 LBS PER ACRE	

SHRUB TUBELINGS	TUBELINGS/ACRE
a. ARTEVIVISIA TRIDENTATA /MOUNTAIN SAGEBRUSH.....	175/ACRE
b. CERCOCARPUS MONTANUS/MOUNTAIN MAHOGANY.....	75/ACRE
c. CHRYSOTHAMNUS NAUSEOSUS/RABBIT BRUSH.....	75/ACRE
TOTAL	325 TUBELINGS/ACRE

SEED AVAILABLE FROM:
 COMSTOCK SEED (OR APPROVED ALTERNATE SOURCE)
 917 HIGHWAY 88
 GARDNERVILLE, NV. 89410
 775-265-0090

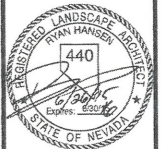
SEEDING SPECIFICATIONS

- All seeding slope stabilization shall be in compliance with the requirements of Washoe County Public Works Department.
1. Scarify existing soil as needed to create friable (non-compacted) conditions.
 2. Dryland revegetation shall take place in the Fall to allow winter moisture to germinate seeds. Revegetation seed blends may be applied in hydroseed slurry.
 3. Following broadcast hand seeding, a "nutritious bonded fiber matrix" hydraulic slurry shall be applied to the soil. The hydromulch shall consist of degradable green-dyed wood-cellulose fiber or 100% recycled long-fiber pulp. Free from weeds or other foreign matter toxic to seed germination.
 - 4) AREAS SHALL BE HYDROSEEDED WITH A SLURRY MIX CONSISTING OF THE FOLLOWING:
 FERTILIZER: 10-10-10 @ 200 LBS/ACRE
 TACKIFIER: M-BINDER @ 60 LBS/ACRE
 MULCH: FIBER MULCH @ 1650 LBS/ACRE
 SEED, REVEGETATION SEED BLEND
 - 5) All seeding shall take place following installation of woody plant material. Any seeding disturbed by planting operations will be reseeded as required to provide 100% uniformity of coverage. Areas that are to be rip rapped shall receive 1/2 the seed application rate and are not temporarily irrigated.
 - 6) Temporary irrigation shall remain in place until irrigated revegetation is established to the approval of the Owner's Representative and Washoe County (a minimum of two full growing seasons). Contractor shall remove all temporary irrigation components upon approval by Washoe County.



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L.A. Studio Nevada
 the landscape architecture studio
 1100 West Moore Lane Reno, NV 89509 (775) 323-2223 NV RLA #140
 www.la-studio.com

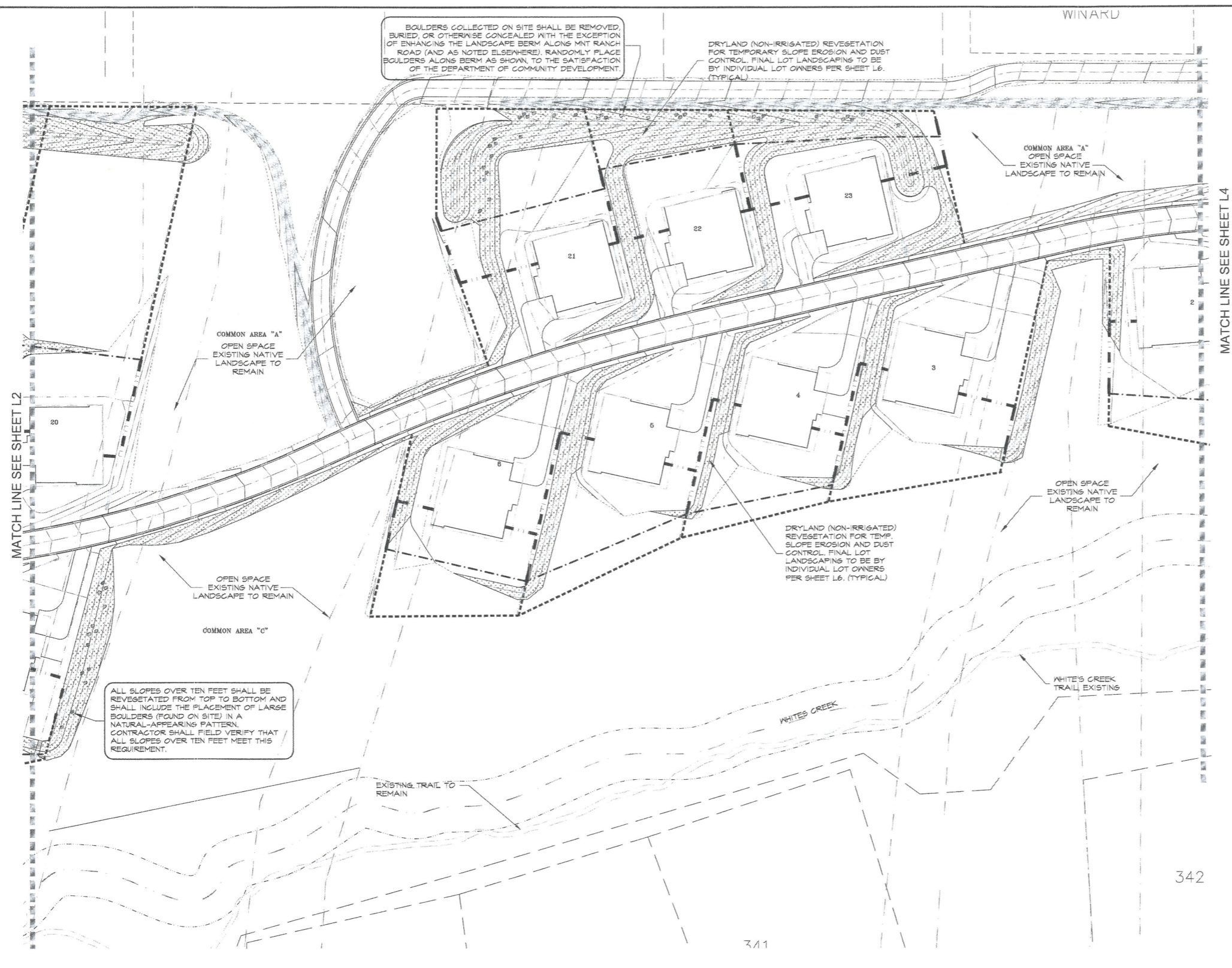


Landscape Planting Plan
Monte Vista at the Estates at Mt Rose
 Wood Rodgers

No.	Revision Date

LA No: 022-946-02-B
 Designed: 055
 Drawn: 055
 Checked: RYH
 CAD File: LI-022-546-PL
 Date: 6/25/15

Sheet
L2
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 7



BOULDERS COLLECTED ON SITE SHALL BE REMOVED, BURIED, OR OTHERWISE CONCEALED WITH THE EXCEPTION OF ENHANCING THE LANDSCAPE BERM ALONG MNT RANG ROAD (AND AS NOTED ELSEWHERE). RANDOMLY PLACE BOULDERS ALONG BERM AS SHOWN, TO THE SATISFACTION OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT.

DRYLAND (NON-IRRIGATED) REVEGETATION FOR TEMPORARY SLOPE EROSION AND DUST CONTROL. FINAL LOT LANDSCAPING TO BE BY INDIVIDUAL LOT OWNERS PER SHEET L6. (TYPICAL)

COMMON AREA "A"
OPEN SPACE
EXISTING NATIVE
LANDSCAPE TO REMAIN

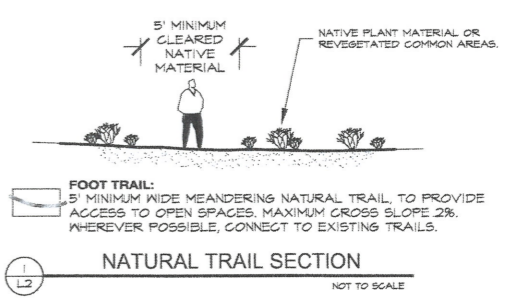
DRYLAND (NON-IRRIGATED) REVEGETATION FOR TEMP. SLOPE EROSION AND DUST CONTROL. FINAL LOT LANDSCAPING TO BE BY INDIVIDUAL LOT OWNERS PER SHEET L6. (TYPICAL)

ALL SLOPES OVER TEN FEET SHALL BE REVEGETATED FROM TOP TO BOTTOM AND SHALL INCLUDE THE PLACEMENT OF LARGE BOULDERS (FOUND ON SITE) IN A NATURAL-APPEARING PATTERN. CONTRACTOR SHALL FIELD VERIFY THAT ALL SLOPES OVER TEN FEET MEET THIS REQUIREMENT.

<p>Note: Power Line Clearance shall be maintained within power line easement.</p> <p>Visual Triangles & Clearance shall be per Washoe County Standards.</p> <p>On-Site Salvaged BOULDERS to be field located around entrance points and along streetscape as part of natural landscape.</p>	<p>FENCING LEGEND</p> <p>----- SPLIT RAIL FENCING</p> <p>----- SPLIT RAIL, OPEN VIEW, OR PRIVACY FENCING</p> <p>----- PRIVACY FENCING</p> <p>NOTE: FENCING IS OPTIONAL PER INDIVIDUAL HOMEOWNER. ALL FENCING IS SUBJECT TO MONTE VISTA MOUNT ROSE ESTATES AGC APPROVAL.</p>
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TREE PLACEMENT REQUIREMENTS

1. LANDSCAPE CONTRACTOR SHALL KEEP TREES A MINIMUM DISTANCE OF 10' FROM ALL CURBS AND ROADWAYS. THIS REQUIREMENT TAKES PRECEDENCE OVER ANY TREE SYMBOLS GRAPHICALLY SHOWN ON PLANS. MOUNT VISTA AT THE ESTATES AT MOUNT ROSE HOMEOWNERS ASSOCIATION SHALL MAINTAIN THESE CLEARANCES OVER CURBING, IN THE CASE THAT ANY PLANT MATERIAL DOES ENCROUGH THE CURBING OR PAVEMENT WASHOE COUNTY RESERVES THE RIGHT TO REMOVE THE ENTIRE TREE OR SHRUB.
2. THE SITE TRIANGLE DISTANCE EASEMENTS AS SHOWN ON PLANS ARE GRANTED TO WASHOE COUNTY. NOT STRUCTURES OF ANY KIND MAY BE PLACED WITHIN SAID EASEMENTS. ALL VISUAL TRIANGLES SHALL BE MAINTAINED AS SHOWN ON PLANS. ANY VEGETATION WITHIN VISUAL TRIANGLE SHALL BE BELOW 2.5' OR ABOVE 6' PER CONDITION #23. THE ESTATES AT MOUNT ROSE HOMEOWNERS ASSOCIATION SHALL MAINTAIN THESE CLEARANCES OVER CURBING. WASHOE COUNTY RESERVES THE RIGHT TO REMOVE THE ENTIRE TREE AND SHRUB THAT ENCROUGHES INTO THE EASEMENT.



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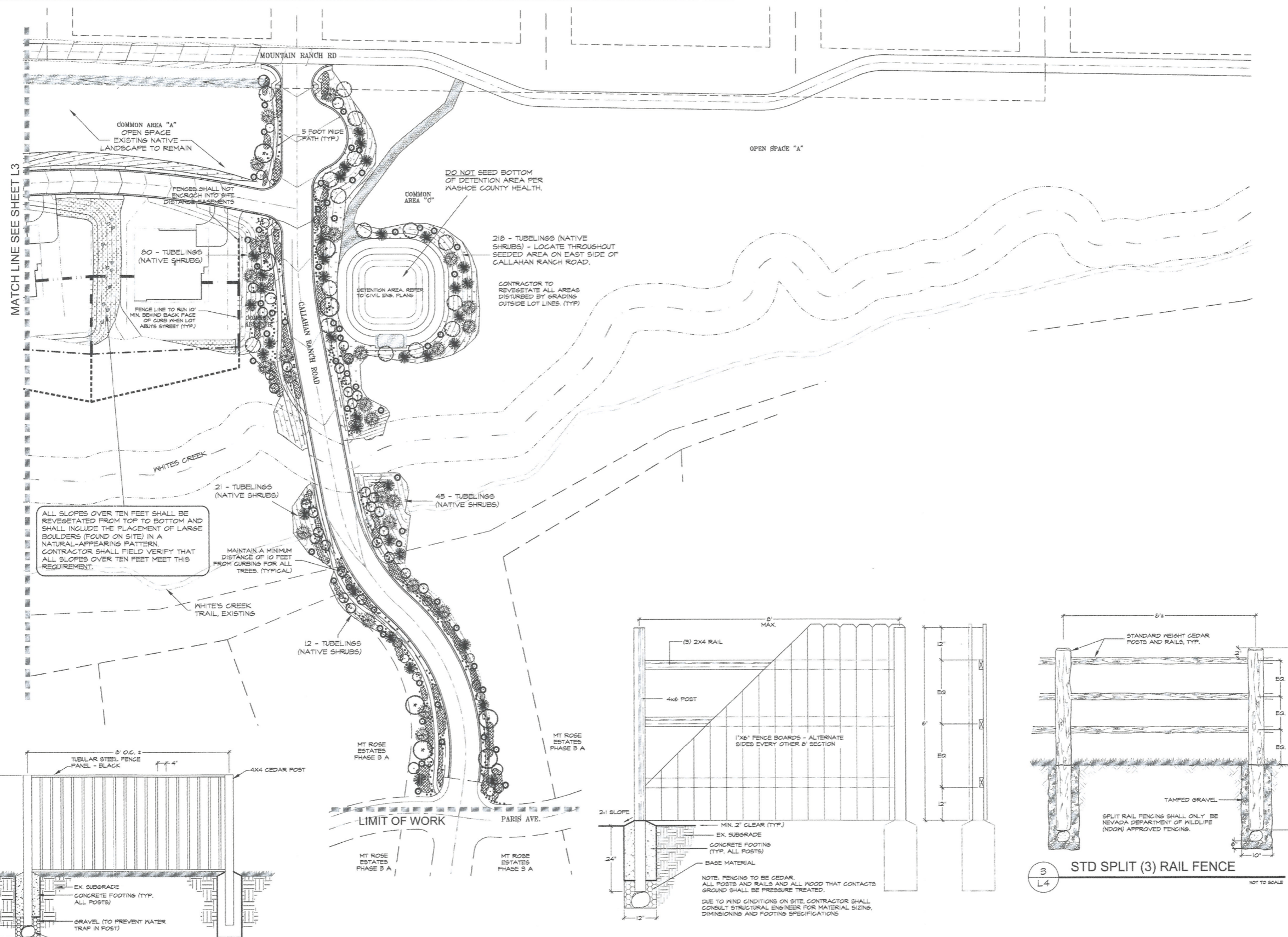
Landscape Planting Plan
Monte Vista at the Estates at Mt Rose
Wood Rodgers

Nevada
Washoe County

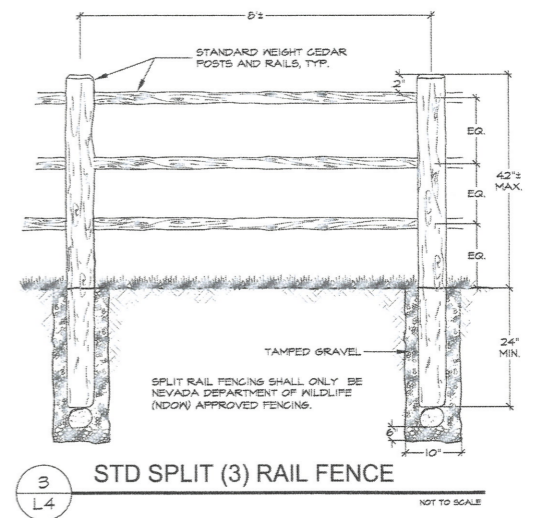
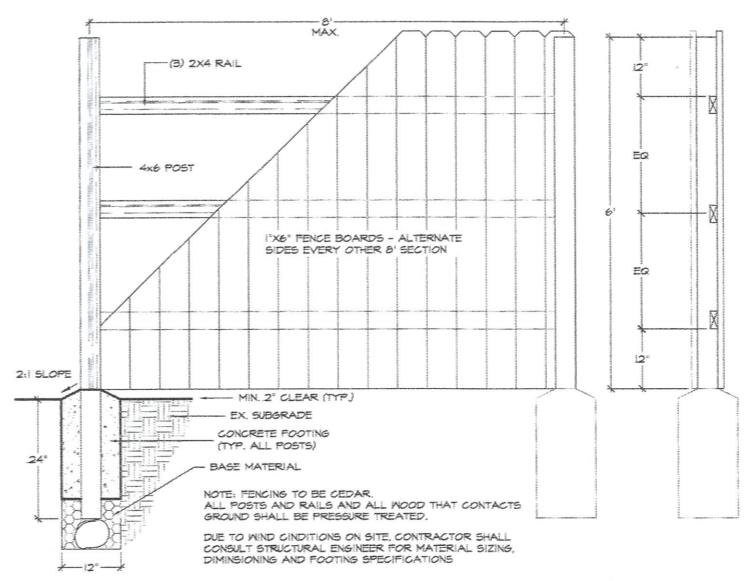
No.	Revision Date

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ALL SLOPES OVER TEN FEET SHALL BE REVEGETATED FROM TOP TO BOTTOM AND SHALL INCLUDE THE PLACEMENT OF LARGE BOLDERS (FOUND ON SITE) IN A NATURAL-APPEARING PATTERN. CONTRACTOR SHALL FIELD VERIFY THAT ALL SLOPES OVER TEN FEET MEET THIS REQUIREMENT.

MAINTAIN A MINIMUM DISTANCE OF 10 FEET FROM CURBS FOR ALL TREES (TYPICAL)

FENCES SHALL NOT ENCROACH INTO SITE DISTANCE EASEMENTS

DO NOT SEED BOTTOM OF DETENTION AREA PER WASHOE COUNTY HEALTH.

218 - TUBELINGS (NATIVE SHRUBS) - LOCATE THROUGHOUT SEEDED AREA ON EAST SIDE OF CALLAHAN RANCH ROAD.

CONTRACTOR TO REVEGETATE ALL AREAS DISTURBED BY GRADING OUTSIDE LOT LINES. (TYP)

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Landscape Planting Plan
Monte Vista at the Estates at Mnt Rose
Wood Rodgers

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Washoe County

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LA No: 022-546-02-15
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